


**B/24/0100 SITE NOTICE. Erected on 13<sup>th</sup> March 2024. Expires on 5<sup>th</sup> April 2024.**



**BOSTON BOROUGH COUNCIL**  
TOWN AND COUNTRY PLANNING ACT 1990

**PLANNING NOTICE**

- Development Affecting the Setting of a Listed Building
- Development Affecting the Character of a Conservation Area

Application for a Lawful Development Certificate to confirm that the property has been used as a large (Use Class Sui Generis) House of Multiple Occupation for over ten years, with use dating back twenty years at 9 10, South Terrace, Boston PE21 6BA  
Application Reference Number: B/24/0100

The above application for Certificate of Lawfulness (existing use) has been received by Boston Borough Council. You may feel that this proposal will affect you and/or your property.

If you wish to see the application together with any associated plans, they are available for viewing online at [www.boston.gov.uk](http://www.boston.gov.uk). If you are unable to access the documents online please call 01205 314305 or email [planning@boston.gov.uk](mailto:planning@boston.gov.uk) for assistance.

Should you wish to make any comments on the application please send them via email to [planning@boston.gov.uk](mailto:planning@boston.gov.uk) or in writing to Municipal Buildings, West Street, Boston, Lincolnshire PE21 8QR or, quoting reference; B/24/0100.

Comments should be received by;

**5TH APRIL 2024**

Please note that this is an extended consultation period to cover the Public Holidays that fall within \*

If you do wish to comment you should bear in mind that planning is about the use of land and the control of development for the public interest, e.g. what a new building looks like in the street, the effects of an access on highway safety, the general appearance of the countryside, economic benefits accruing to the area etc. Private interests like property values, and competition between companies for instance will rarely affect a decision. Please include your name and address; correspondence without this information will not be taken into consideration.

As a result of negotiations the submitted details may change and only if the changes are significant will this application be re-advertised. All representations made to an application are published on our website until an application is determined. For more information regarding how we handle representations and protect your personal information please visit our website to view our fair processing statement; [www.boston.gov.uk](http://www.boston.gov.uk).

**Andrew Booth**  
Development Manager  
East Lindsey District Council and Boston Borough Council

We can provide this information in other languages and formats for example, in large print, in Braille or CD. Please

Upon expiry of the date stated above, please dispose of this notice responsibly.  
phone 01205 314200.

\*Please note that in the event of an appeal for applications for Householder Development, Advertisements, Minor Commercial Development or Advertisement Consent, there normally will be no further opportunity to make representations. 01205 314305.

Notice





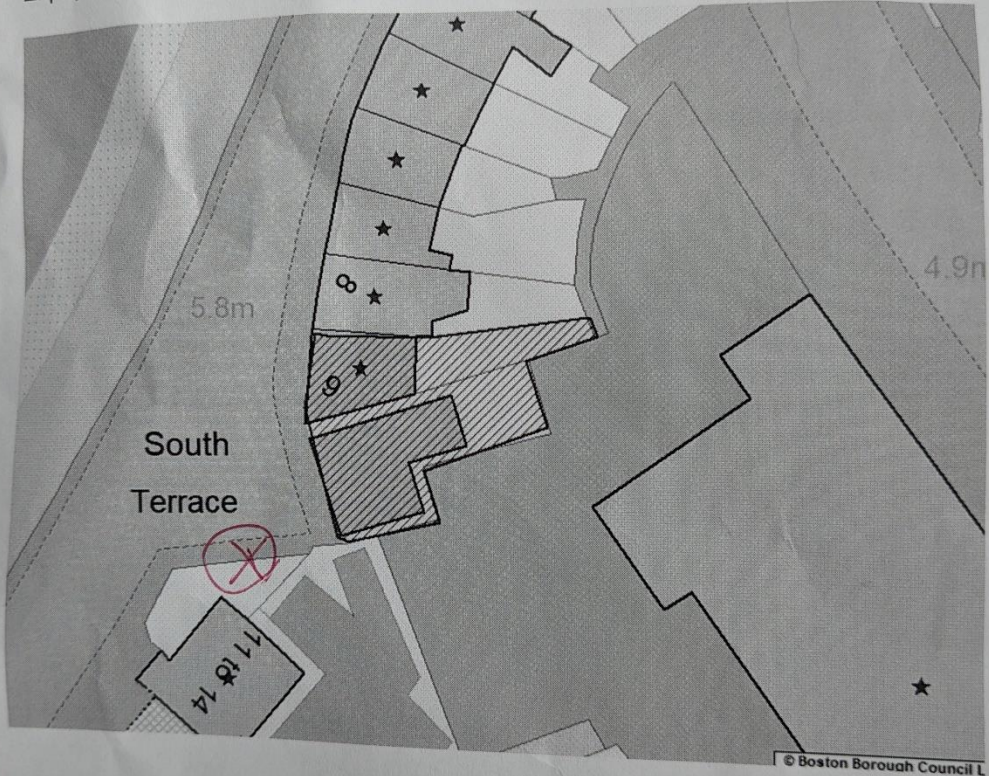
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**B/24/0100 – Erected Site Notice**

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Erected Site Notice:..... *13TH MARCH 2024*

Expiry Date:..... *5TH APRIL 2024*



**Location**