

Conifers to be cut down and back to provide
Sight Lines splayed each side of Entrance
Cross Over (As per Highway Authority
Details (Dropped Kerbs & Approval)

STATION ROAD (PE20 3PB)

ROSE COTTAGE

Conifers

New cross over dropped kerbs and Gatic
Drainage Channels all to Details/Approval
By Highway Authority

All cross hatched areas to be Brindle Bricks
Herringbone Pattern See Details on Drg -/2

Proposed 4 Bed Dwelling Integral Garage
at Outline Stage Only can be subject to
Design Change at Full Planning Stage

Existing Small trees/shrubs & hedgerow
Fencing to be retained with new Post Panel
Treated Timber Fencing where necessary.

Replacement Bungalow Approved on
23/6/2020 Ref. No. B/20/0100

Area of Land Proposed for 1 No Dwelling
Equals Circa .3597ha (3597 sq m) .89 Acre

Read all Together Drg's No's L426/ 1, 2 & 3

Existing Lawn Areas to be maintained and
Additional areas extended with small sapling
Trees Shrubs and Plants

All new Drainage to be to BS8301 (Spec 9)

Proposed Block Plan Scale 1:500⁽⁹⁾

All new Drainage to be Hepoleeve with
Their New Inspection Chambers with
Rodding access all to BS 8301 & Guide
from Hepworth for Good Drainage
Practice. Note Drains under or very close
to Foundations or G.F. Slabs are to be
surrounded in a min 200mm Concrete
A Precast Concrete Lintel should be
Installed where rains pass through the
Footings. All Drains and Footings must be
Inspected by Building Controls/Approved
Inspector. Do keep records/photographs as
work proceeds and obtain the Inspector's
Signature & Date of Inspections Approval.

Proposed Block Plan Land Scape details Scale Bar

SCALE BARS FOR DRAWINGS No's ...L426/1 2 & 3

Please apply those that are ticked only and noted to that Scale on the above Drawings
Please also note that Drawings marked NTS are drawn Not To Scale Always work to
dimensions and actual setting but refer also to note reference to this particular condition.
Reference Planning Application No. Date.....

