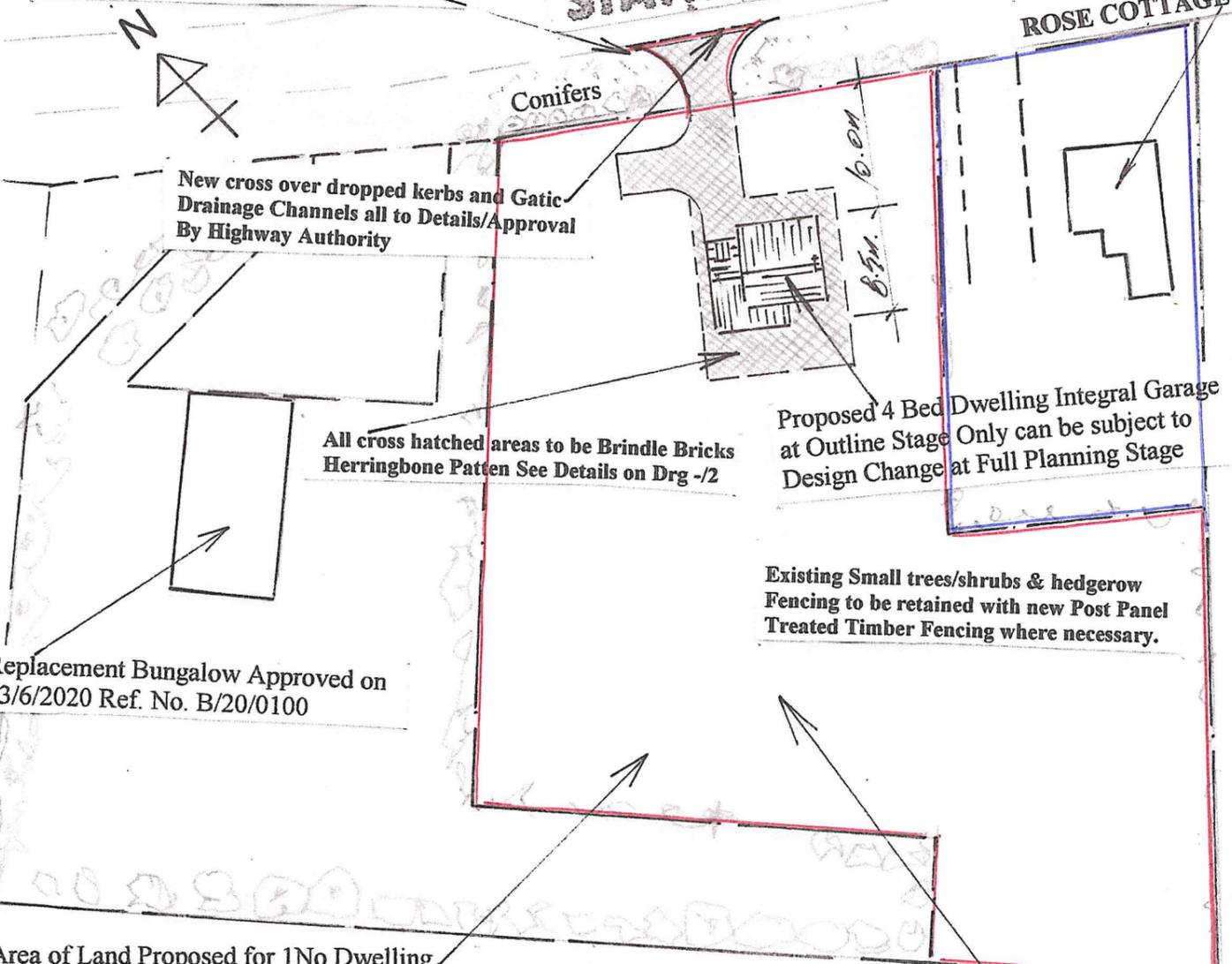


Conifers to be cut down and back to provide Sight Lines splayed each side of Entrance Cross Over (As per Highway Authority Details (Dropped Kerbs & Approval))

**STATION ROAD (PE20 3PB)**

**ROSE COTTAGE**



New cross over dropped kerbs and Gatic Drainage Channels all to Details/Approval By Highway Authority

All cross hatched areas to be Brindle Bricks Herringbone Patten See Details on Drg -/2

Proposed 4 Bed Dwelling Integral Garage at Outline Stage Only can be subject to Design Change at Full Planning Stage

Existing Small trees/shrubs & hedgerow Fencing to be retained with new Post Panel Treated Timber Fencing where necessary.

Replacement Bungalow Approved on 23/6/2020 Ref. No. B/20/0100

Area of Land Proposed for 1 No Dwelling Equals Circa .3597ha (3597 sq m) .89 Acre

Existing Lawn Areas to be maintained and Additional areas extended with small sapling Trees Shrubs and Plants

All new Drainage to be to BS8301 (Spec 9)

All new Drainage to be Hepseleeve with Their New Inspection Chambers with Rodding access all to BS 8301 & Guide from Hepworth for Good Drainage Practice. Note Drains under or very close to Foundations or G.F. Slabs are to be surrounded in a min 200mm Concrete A Precast Concrete Lintel should be installed where rains pass through the Footings. All Drains and Footings must be Inspected by Building Controls/Approved Inspector. Do keep records/photographs as work proceeds and obtain the Inspector's Signature & Date of Inspections Approval.

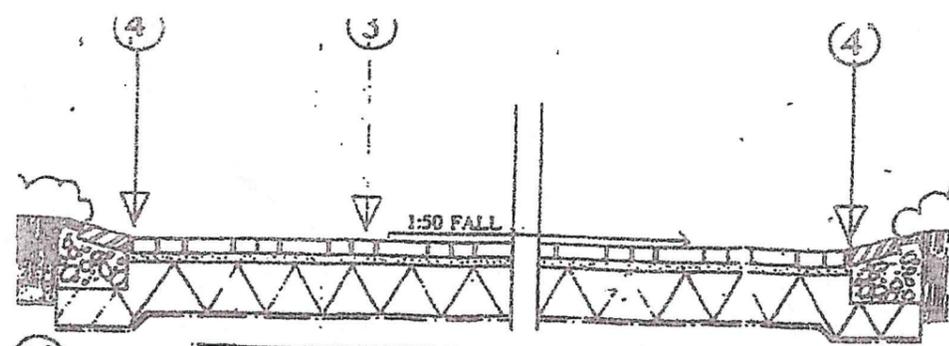
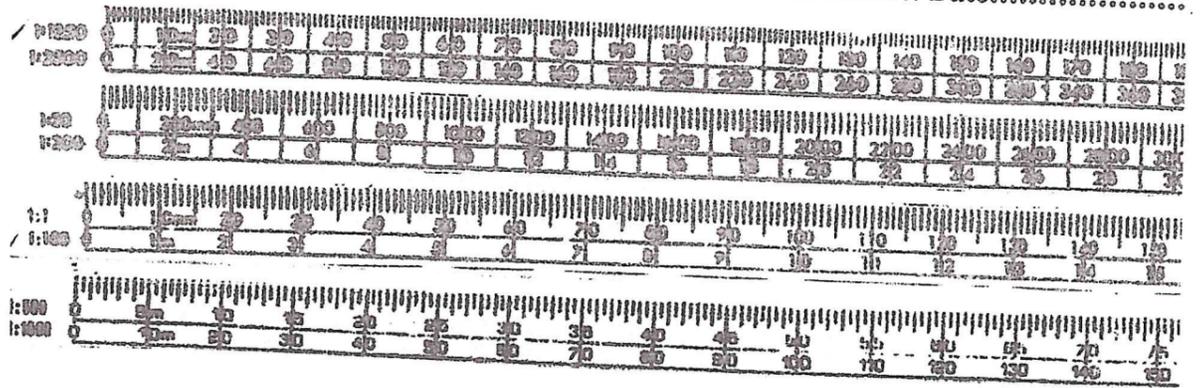
**Proposed Block Plan Scale 1:500<sup>(9)</sup>**

Read all Together Drg's No's L426/ 1, 2 & 3

Proposed Block Plan Land Scap details Scale Bar

**SCALE BARS FOR DRAWINGS No's ... L426/1 2 & 3**

Please apply those that are ticked only and noted to that Scale on the above Drawings Please also note that Drawings marked NTS are drawn Not To Scale Always work to dimensions and actual setting but refer also to note reference to this particular condition. Reference Planning Application No. .... Date.....



**DETAIL 2 PEDESTRIAN PAVING**

600 x 600 x 50mm DEPTH MARSHALLS PERFECTA NIBBED CHAMFERED PAVING, COLOUR BUFF LAID ON 30mm MEDIUM COARSE SAND AS DETAIL NO 1 WITH JOINTS AS DETAIL NO 1 SUB-BASE 150mm DEPTH MOT TYPE 1 GRANULAR SUB-BASE AND LAYER OF TERRAM 1000 TO ENGINEERS SPECIFICATION.

**DETAIL 3 VEHICULAR BLOCK PAVING**

BLOCKLEYS NIBBED CHAMFERED PAVING: COLOUR XVIII BRINDLE MIXTURE, LAID HERRINGBONE PATTERN ON 35mm BEDDING COURSE OF CLEAN SHARP NATURAL WASHED SAND AND COMPLYING WITH ALL THE REQUIREMENTS FOR FINE AGGREGATES WITH A GRADING OF C TO BS:882:1983. TO BE COMPACTED WITH A VIBRATORY PLATE.

JOINTS TO BE FILLED WITH A SEPARATE MATERIAL - A FINE NATURAL SAND WITH A LOW MOISTURE CONTENT OR CRUSHED ROCK FINES, MAX PARTICLE SIZE 1mm, NO MORE THAN 10% MASS PASSING THROUGH A 75mm URN SIEVE. BY WASHING AND DECANTATION METHODS (eg: BS:81269:Grade F, BS882:19983 or Mortar sands in BS:1200:1976)

SUB-BASE TO BE MINIMUM 225mm MOT TYPE 1 ON TERRAM 1000 OR BITMAC/ASPHALT SURFACING TO ENGINEERS SPECIFICATION.

**DETAIL 4 BATTERED BLOCK EDGING**

SINGLE ROW OF BLOCKLEYS NIBBED CHAMFERED PAVIGOURS 210 x 105 x 65mm: COLOUR IPSWICH LAID AS A SINGLE SOLDIER COURSE ON 60mm HEIGHT SPLAY, ON CONCRETE FOUNDATION TO ENGINEERS SPECIFICATION.

JOINTS TO BE 5mm MORTARED WITH TILCON Y97A COLORANT OR SIMILAR AND APPROVED.

VERTICAL DR.

Indicative details of possible hard land scapping (nts)

Note: Do not Scale from these Plans Drawings Always work to the initial Dimensions which are to be subject To the actual site setting out by the Builder and or Specialist Materials Designer Surveyor appointed by the Client prior to the works starting with Adjustments as necessary and at times At stages to Completion.

Note: These Drawings have not been Prepared to show Full Structural Design and if required by Building Control Surveyor/Inspector, please Appoint a Structural Engineer or Specialist to carry out Full Design Dimensioned and Calculations and Details for the Council's Engineers Written Approval. Do refer to the Local Authority Building Control See Working With You Guide For Service Standards as Necessary.

Refer also to Drg's. L426/2 & 1 | Date: 20.8.2020 | Drg no. L426/2

Rose Cottage, Station Rd., Swineshead, Lincs., PF 20 3PB