

Your ref: PP -09475400
Our ref: 1399 1 LMS MAG

32 High Street, Helpringham,
Sleaford, Lincolnshire NG34 0RA
Tel: 01529 421646
Email: admin@rdc-landplan.co.uk
Web: www.rdc-landplan.co.uk

04 February 2021

Submitted via the Planning Portal only

Development Control Manager
Boston Borough Council
Municipal Buildings
West Street
Boston
Lincolnshire
PE21 8QR

Dear Sir

**MR AND MRS D WHITE
APPLICATION TO REMOVE CONDITION II (USE RESTRICTION) OF PLANNING
PERMISSION B03/0604/98 (APPEAL REF: T/APP/Z2505/A/99/1022923/P9)
WESTHORPE PLANTS LIMITED, LOWFIELDS ROAD, BENINGTON, BOSTON,
PE22 0EE**

Please find attached an application, submitted via the Planning Portal reference PP-09475400, for the removal of condition ii of T/APP/Z2505/A/99/1022923/P9 as set out below.

- ii) The premises shall be used for offices ancillary to the existing horticultural unit and for no other purpose (including any other purpose in Class B1 of the Schedule to the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification).

We have been unable to locate the red line plan for the planning permission and so have include a location plan with a red line around the building, the subject of this application.

Planning permission was first refused by the local planning authority for the retention of the then bungalow and for its use as an office in association with the horticultural business in December 1998. A subsequent appeal was allowed in September 1999 and a condition imposed which restricted the use of the office to being operated in association with the existing horticultural unit on site.

The horticultural business on the site ceased trading two and a half years ago and all the glasshouses and polytunnels have been removed, save for the small office and ancillary buildings to the rear. The office building is relatively modern, in an excellent standard of repair and would make an ideal location for a small business to operate from.






town planning



landscape architecture



architecture

 @RobertDoughtyConsultancy
 @RDC_Ltd
 robert-doughty-consultancy-limited

Robert Doughty Consultancy Limited
Registered in England No. 4084500
VAT Reg No. 364 7780 17

Page 2 of 2

Your ref: PP -09475400
Our ref: 1399 1 LMS MAG

04 February 2021

Development Control Manager
Boston Borough Council

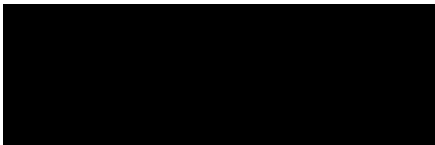
In the absence of condition ii, our client would ordinarily be able to apply under Part R (agricultural buildings to a flexible commercial use), Part 3, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 to change the use of the building to a flexible commercial use, subject to the relevant criteria. In addition, Policy 7 of the South East Lincolnshire Local promotes the re-use of redundant buildings outside of the main employment allocations for employment uses.

With the removal of the horticultural unit from the site, condition ii on the original grant of permission no longer serves any purpose in planning terms. There would be no impact on highway safety or residential amenity were the building to carry on being used as an office in the absence of condition ii.

The building does represent a valuable resource which is capable of carrying on being used as an office and, such a use is supported not only through permitted development rights, but also Policy 7 in the adopted local plan.




We trust you will receive the application favourably, however, should you require any further information please do not hesitate to contact us.

Yours faithfully



Lewis M Smith MRTPI



 @RobertDoughtyConsultancy
 @RDC_Ltd
 robert-doughty-consultancy-limited

Robert Doughty Consultancy Limited
Registered in England No. 4084500
VAT Reg No. 364 7780 17