

## Supporting Planning Statement

### **Prior Notification under The Town and Country Planning (General Permitted Development) (England) Order 2015 Schedule 2 Part 3 Class Q for the conversion of one agricultural building into a single dwellinghouse**

Claydyke Barn, Martin Cross Drive, Amber Hill, Boston  
PE20 3RG

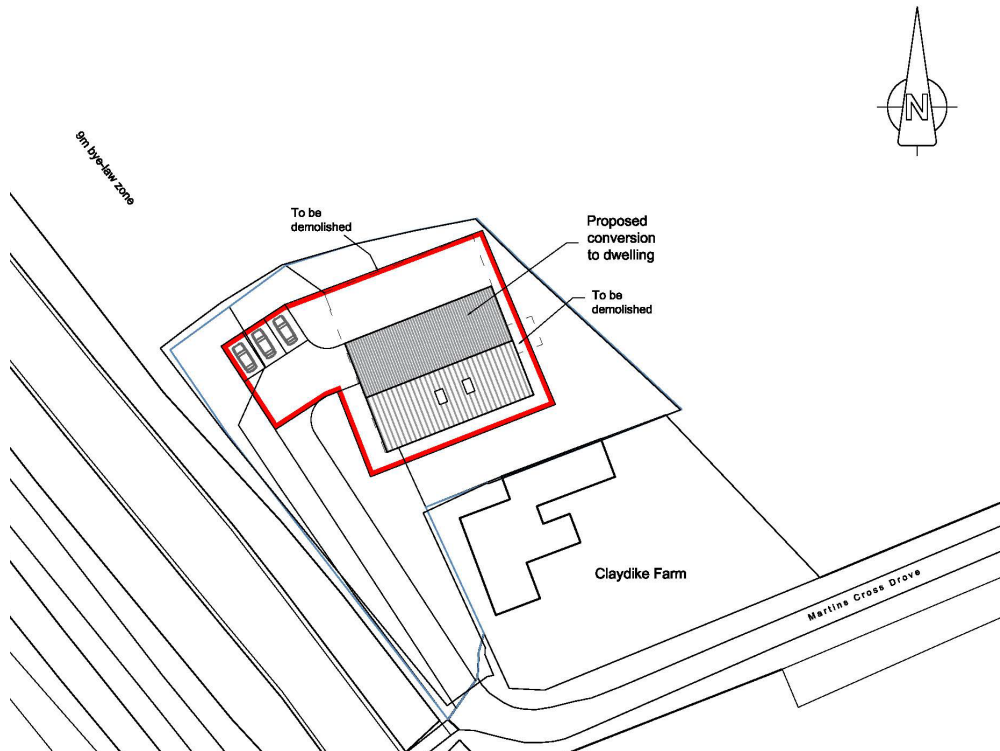


Figure 1: Site Plan

V1 last updated 05.07.21  
Project ref: 19016

## 1.0 SITE AND SURROUNDINGS

This statement is to accompany a prior notification submission for the conversion of one agricultural building to a single dwelling. The site is located in open countryside, approximately 3km to the north west of the settlement known as Hubberts Bridge, where there is a public house and a railway station.

The agricultural building subject to this prior notification submission is a single storey concrete portal framed building measuring approximately 19m wide and 18m deep. The main part of the building has a pitched roof with an approximate ridge height of 6.5m and an eaves height of 4m. There are single storey projections located on the northern and eastern elevations which have mono pitch roofs.

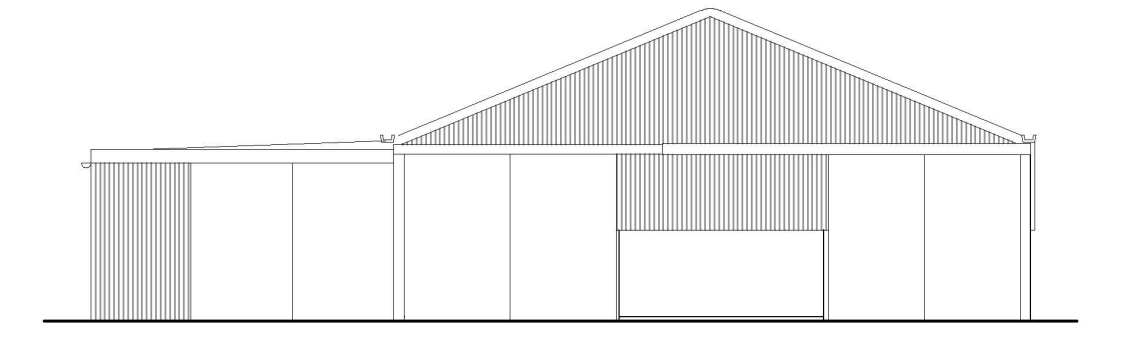


Figure 2: Existing Front Elevation



Figure 3: Photograph of Agricultural Building



Figure 4: Photograph of Rear Elevation

The site is predominantly level. The frontage to the west of the building is made up of hardstanding. Agricultural fields are located to the north and east. Adjacent to the south is a traditional farmhouse.

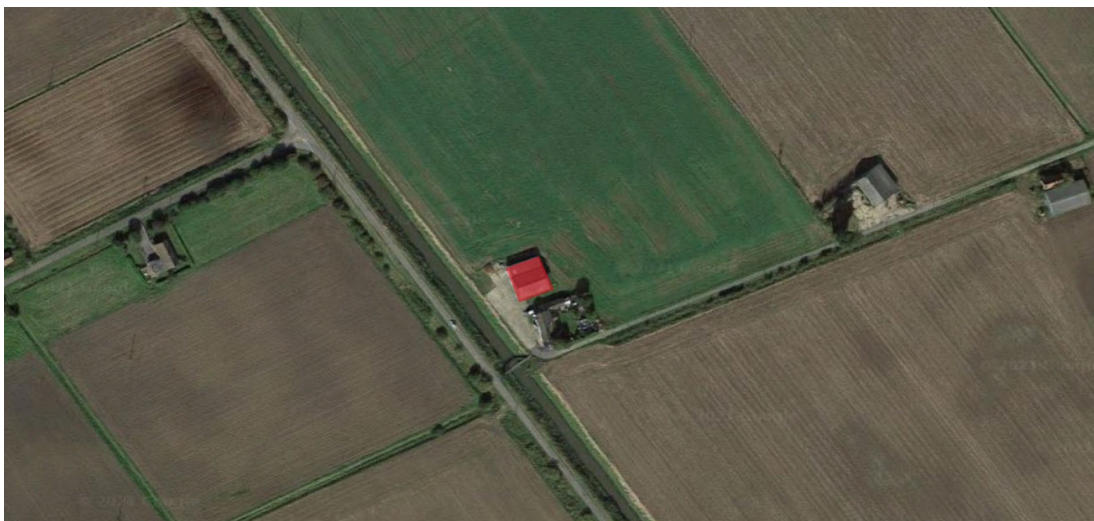


Figure 5: Aerial View of Agricultural Building and surrounding context



## 2.0 DESCRIPTION OF PROPOSAL

The proposal is to convert the agricultural building which has been used for crop storage into one dwelling. Detailed drawings and sections are provided on the plans submitted with the prior notification. A Structural Appraisal is submitted in support of the proposed works, confirming that the proposal is a conversion of the existing building. The Structural Appraisal confirms that:

The building consists of 5 concrete frames each consisting of precast concrete columns. The external walls consist of solid masonry brickwork at the lower level and profiled sheeting in the upper sections. The foundations are identified as likely to consist of mass concrete pad and strip style foundations.

The Structural Appraisal also states that the building is a simple but robust 'Atcost' style building with the main elements of the structural frame in good condition with no signs of distress or concrete spalling. The Consulting Structural and Civil Engineers have confirmed that they are 'satisfied that the existing building is structurally stable and robust and could continue to perform adequately following a change of use without the need for any significant structural strengthening or rehabilitation'.

The proposed works include the removal of the two mono pitch single storey extensions to the main building, and the conversion of the remainder of the building to provide a four bedroom dwelling. At ground floor an open plan kitchen, dining and living area are provided with two sets of glazed doors in the northern elevation overlooking open countryside. Feature glazed panels are located in the eastern and western elevations, again making the most of the views across the fields. To the southern elevation is limited fenestration, to restrict any impact on the neighbouring farmhouse.

At first floor level the accommodation proposed includes a master bedroom with en-suite bathroom and dressing area and two further bedrooms and a family bathroom. Low level storage is also provided to utilise the area where the roof lowers. At first floor level above part of the living space is left open to provide an area of the building internally which allows an appreciation of the form of the existing building.

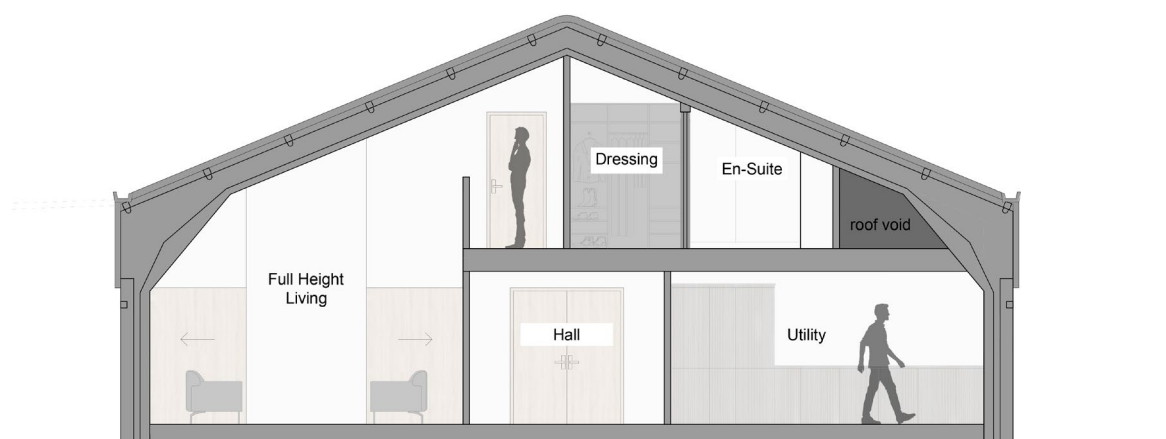


Figure 6: Proposed Section

### 3.0 TOWN & COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) (ENGLAND) ORDER 2015

#### Permitted Development under Schedule 2, Part 3, Class Q

In 2014, a permitted development right identified as Class Q was introduced in England to allow for residential conversion of agricultural buildings via a prior approval process, rather than the need for a full planning application, should the redundant building meet the criteria set out in the legislation.

Class Q states that development consisting of:

- 'a) ) a change of use of a building and any land within its curtilage from a use as an agricultural building to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order; or
- b) development referred to in paragraph (a) together with building operations reasonably necessary to convert the building referred to in paragraph (a) to a use falling within Class C3 (dwellinghouses) of that Schedule.'

...is permitted development subject to a range of limitations. These limitations are discussed in Table 1 below along with commentary on how Claydyke Barn conforms to the requirements.

Table 1 – Assessment of Q.1	
Limitation	Claydyke Barn
<b>Q.1 – Development is not permitted by Class Q if:</b>	
<b><i>(a) the site was not used solely for an agricultural use as part of an established agricultural unit—</i></b> (i) on 20th March 2013, or (ii) in the case of a building which was in use before that date but was not in use on that date, when it was last in use, or (iii) in the case of a site which was brought into use after 20th March 2013, for a period of at least 10 years before the date development under Class Q begins;	Claydyke Barn was in use solely for an agricultural use as part of an established agricultural unit on the 20 <sup>th</sup> March 2013.
<b><i>(b) in the case of— (i) a larger dwellinghouse, within an established agricultural unit—</i></b>  (aa) the cumulative number of separate larger dwellinghouses developed under Class Q exceeds 3; or (bb) the cumulative floor space of the existing building or buildings changing use to a larger dwellinghouse or dwellinghouses under Class Q exceeds 465 square metres; (ba) the floor space of any dwellinghouse developed under Class Q having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 465 square metres;	One larger dwellinghouse is proposed on the established agricultural unit as a result of the conversion, with a floor space of 315 square metres.  The proposal therefore results in less than 3 larger dwellinghouses with a cumulative floor space of less than 465 square metres.
<b><i>(c) in the case of—</i></b>	No smaller dwellinghouses are proposed.

<p>(i) a smaller dwellinghouse, within an established agricultural unit—</p> <p>(aa) the cumulative number of separate smaller dwellinghouses developed under Class Q exceeds 5; or</p> <p>(bb) the floor space of any one separate smaller dwellinghouse having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 100 square metres;</p>	
<p><b><i>(d) the development under Class Q (together with any previous development under Class Q) within an established agricultural unit would result in either or both of the following—</i></b></p> <p>(i) a larger dwellinghouse or larger dwellinghouses having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;</p> <p>(ii) the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeding 5;</p>	<p>No other Class Q developments have been proposed on the agricultural unit.</p>
<p><b><i>(e) the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;</i></b></p>	<p>The site is not under an agricultural tenancy.</p>
<p><b><i>(f) less than 1 year before the date development begins—</i></b></p> <p>(i) an agricultural tenancy over the site has been terminated, and</p> <p>(ii) the termination was for the purpose of carrying out development under Class Q, unless both the landlord and the tenant have agreed in writing that the site is no longer required for agricultural use;</p>	<p>The site is not under an agricultural tenancy and was not subject to an agricultural tenancy for the last 12 months.</p>
<p><b><i>(g) development under Class A(a) or Class B(a) of Part 6 of this Schedule (agricultural buildings and operations) has been carried out on the established agricultural unit—</i></b></p> <p>(i) since 20th March 2013; or</p> <p>(ii) where development under Class Q begins after 20th March 2023, during the period which is 10 years before the date development under Class Q begins;</p>	<p>No agricultural buildings or operations have been carried out on the agricultural unit under Class A or B of Part 6 since 20<sup>th</sup> March 2013.</p>
<p><b><i>(h) the development would result in the external dimensions of the building extending beyond the external dimensions of the existing building at any given point;</i></b></p>	<p>No part of the proposed conversion results in the external dimensions of the building extending beyond external dimensions of the existing building at any given point.</p>
<p><b><i>(i) the development under Class Q(b) would consist of building operations other than—</i></b></p> <p>(i) the installation or replacement of—</p> <p>(aa) windows, doors, roofs, or exterior walls, or</p>	<p>No other building operations are proposed, other than the installation of windows, doors, roofs or exterior walls or water, drainage, electricity, gas or other services. All proposed</p>

(bb) water, drainage, electricity, gas or other services, to the extent reasonably necessary for the building to function as a dwellinghouse; and (ii) partial demolition to the extent reasonably necessary to carry out building operations allowed by paragraph Q.1(i)(i);	operations are reasonably necessary for the building to function as a dwellinghouse.  Two single storey lean to existing extensions are to be demolished, leaving the central agricultural building to be converted. This proposed demolition is only partial and is necessary to carry out the building operations in order to complete the conversion.
<b><i>(j) the site is on article 2(3) land;</i></b>	The site is not on article 2(3) land.
<b><i>(k) the site is, or forms part of—</i></b> (i) a site of special scientific interest; (ii) a safety hazard area; (iii) a military explosives storage area;	The site is not and does not form part of a SSSI, a safety hazard area or military explosives storage area.
<b><i>(l) the site is, or contains, a scheduled monument;</i></b>	The site is not and does not contain a scheduled monument.
<b><i>(m) the building is a listed building.</i></b>	The building is not a listed building.

Following on from meeting the requirements of Q.1 of Class Q the Prior Approval process then continues, following the assessment of conditions set out in Q.2.

## **Q.2 Conditions**

Q.2 states that, 'where the development proposed is development under Class Q(a) together with development under Class Q(b), development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

- (a) transport and highways impacts of the development,
- (b) noise impacts of the development,
- (c) contamination risks on the site,
- (d) flooding risks on the site,
- (e) whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order,
- (f) the design or external appearance of the building, and
- (g) the provision of adequate natural light in all habitable rooms of the dwellinghouses

Each of these conditions are now discussed in more detail in relation to the specific circumstances of Claydyke Barn.

### **a) Transport and highways impacts of the development**

The proposal utilises the existing access point into the farmyard from Martin Cross Drove. There are no other agricultural buildings within the farmyard, only the existing farm dwelling. The access is of an appropriate layout and size to serve the two dwellings, without having any detrimental impact on highway safety.

### **b) Noise impacts of the development**

The proposal will actually see the reduction in potential noise emissions, with less large agricultural machinery movements as a result of the conversion from agricultural building to dwelling. There are

no other agricultural buildings within the immediate vicinity of the site which might attract heavy machinery noises, therefore the impact on the occupiers of the existing farmhouse are lessened and there will be no significant impact on the future occupiers of the converted agricultural building.

#### **c) Contamination risks on the site**

The agricultural building has been used for crop drying and storage and not for any use which would be expected to create a risk of contamination.

#### **d) Flooding risks on the site**

The site is located in Flood Risk Zone 3 and is therefore considered to be at a high probability of annual fluvial flooding. The Flood Risk Zones applied assume that there are no flood defences in place. The site is shown on the Low-Risk scenario Surface Water flood maps, for the 1 in 1000 year event, not to be affected from surface water flooding.

A Flood Risk Assessment (FRA) has been carried out to ensure that the conversion can be carried out safely in terms of managing flood risk. The FRA is submitted with the prior notification submission. The FRA concludes that subject to specific construction methods, including raising the ground floor level of the dwelling to 2.64m ODN, that the proposed conversion can be carried out with appropriate mitigation.

#### **e) Whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order**

National Planning Practice Guidance (NPPG) sets out at paragraph: 109 Reference ID: 13-109-20150305 the following:

‘Impractical or undesirable are not defined in the regulations, and the local planning authority should apply a reasonable ordinary dictionary meaning in making any judgment. Impractical reflects that the location and siting would “not be sensible or realistic”, and undesirable reflects that it would be “harmful or objectionable”.’

The agricultural building is located adjacent to an existing dwelling and has an established access onto Martin Cross Drove. Accessibility of the site, whilst located in a countryside location is established and is practical. Services are already in situ to serve the neighbouring dwelling and therefore the building is considered to be appropriate for conversion under criteria e).

#### **f) The design or external appearance of the building**

The proposed design for the conversion is provided in detail in support of the prior notification submission. The design reflects and is sympathetic to the functional form of the existing building and provides a modern conversion, utilising the character and appearance of the existing building as a clear starting point for the scheme. The material palette identified is complementary to the local area and is considered to result in a modern, well designed conversion.



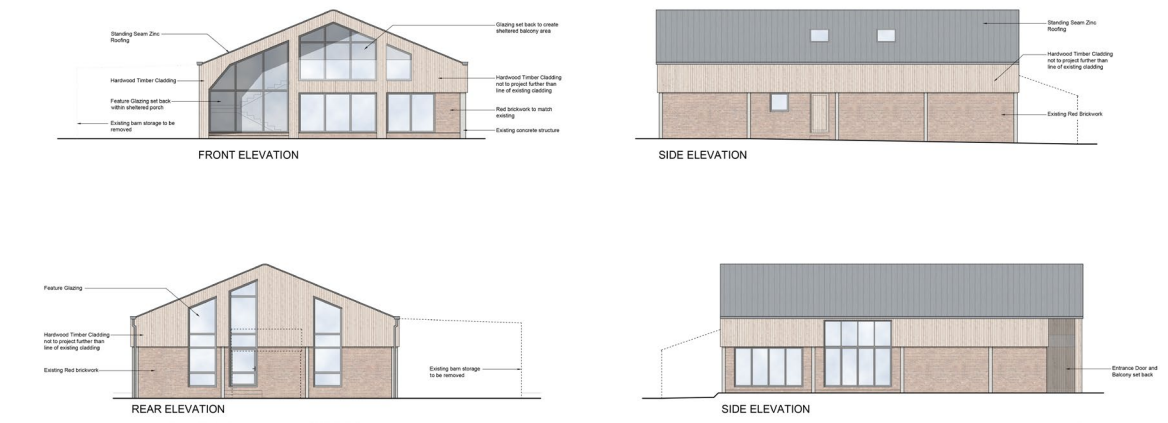


Figure 7: Proposed Elevational Details

**g) The provision of adequate natural light in all habitable rooms of the dwellinghouses**

The submitted proposed floor plans and elevations identify that there is adequate natural light in all habitable rooms.

**Identified curtilage area**

The red line set out on the site location plan submitted provides the identified residential curtilage for the barn conversion, in line with the requirements of Paragraph X which requires in relation to the curtilage of the resultant dwelling that:

‘curtilage’ means, for the purposes of Class Q, R or S only—

- (a) the piece of land, whether enclosed or unenclosed, immediately beside or around the agricultural building, closely associated with and serving the purposes of the agricultural building, or
- (b) an area of land immediately beside or around the agricultural building no larger than the land area occupied by the agricultural building, whichever is the lesser.

The proposed external space measures 315 square metres, matching the proposed floor space of the converted building which is also 315 square metres.

## 4.0 PLANNING HISTORY

A search of the Boston Borough Council online planning service found no relevant applications under Part 6 or Class Q of Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended.

## **5.0 CONCLUSION**

The proposed conversion as set out in detail on the application form and submitted plans is supported by a Flood Risk Assessment and Structural Appraisal in addition to this supporting statement.

The proposal is the conversion of an existing agricultural building to a dwellinghouse and is compliant with the requirements of Class Q of Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended.

The Structural Appraisal confirms that the existing building is suitable for conversion. The Flood Risk Assessment provides details on how the proposal will limit any impact in this regard.

The list of considerations that local planning authorities can assess in respect of the prior approval process have been identified and discussed in this report, demonstrating that there will not be a detrimental impact as a result of the proposed operations.

The design of the proposed conversion is considered to enhance the existing site and provide a detached barn conversion of high quality, making the effective re-use of an existing redundant building.