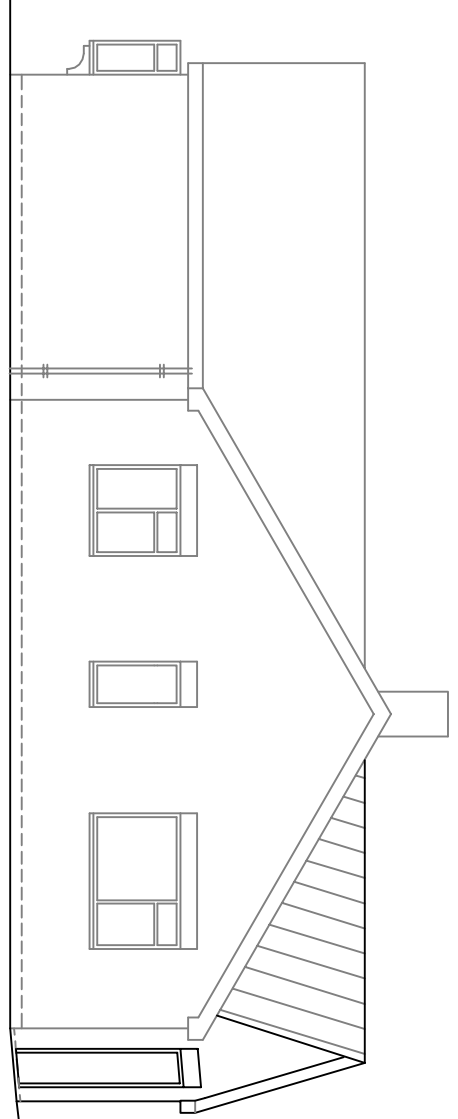
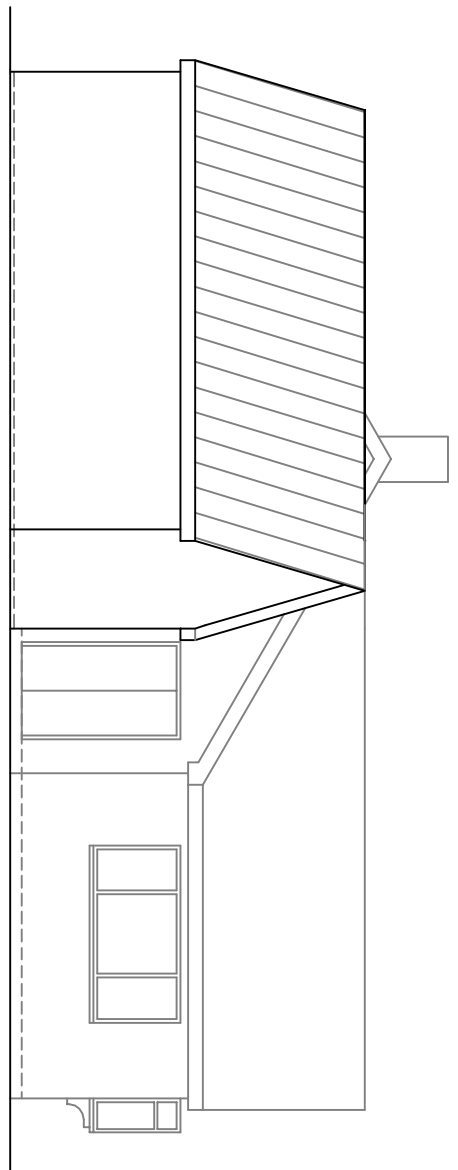


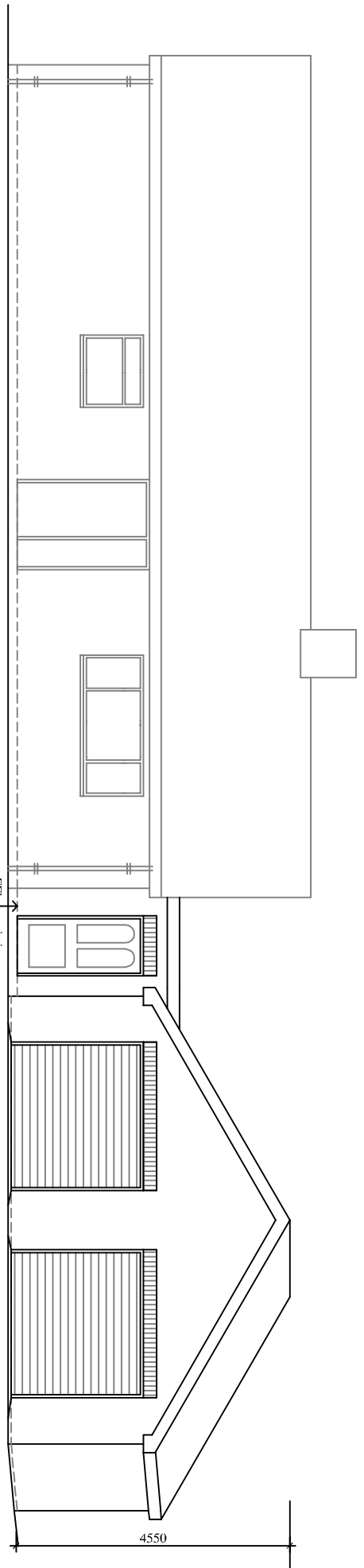
NOTE : Site measurements to be taken prior to ordering of any materials. Also site measurements to be taken prior to ordering of any items fabricated off site



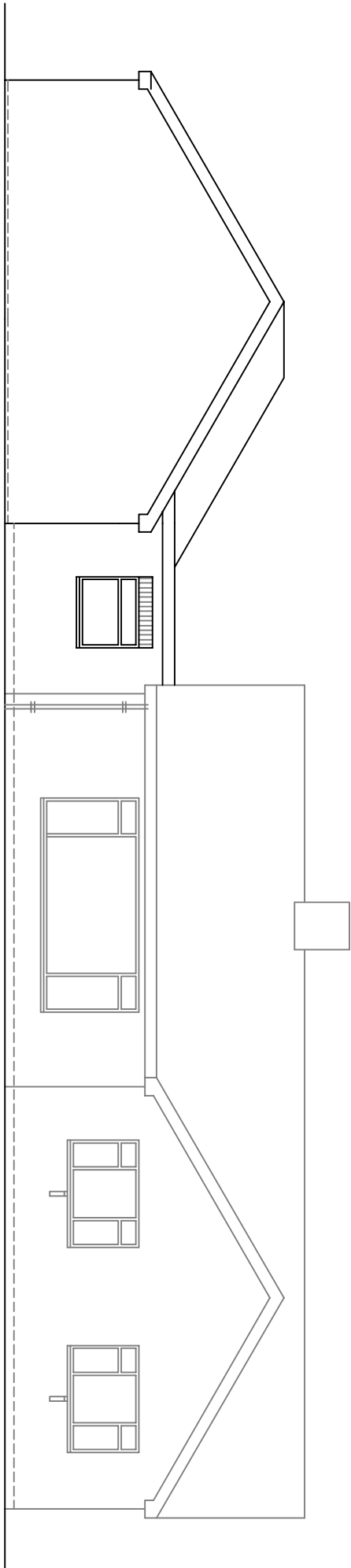
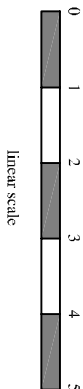
proposed east elevation



proposed west evevation

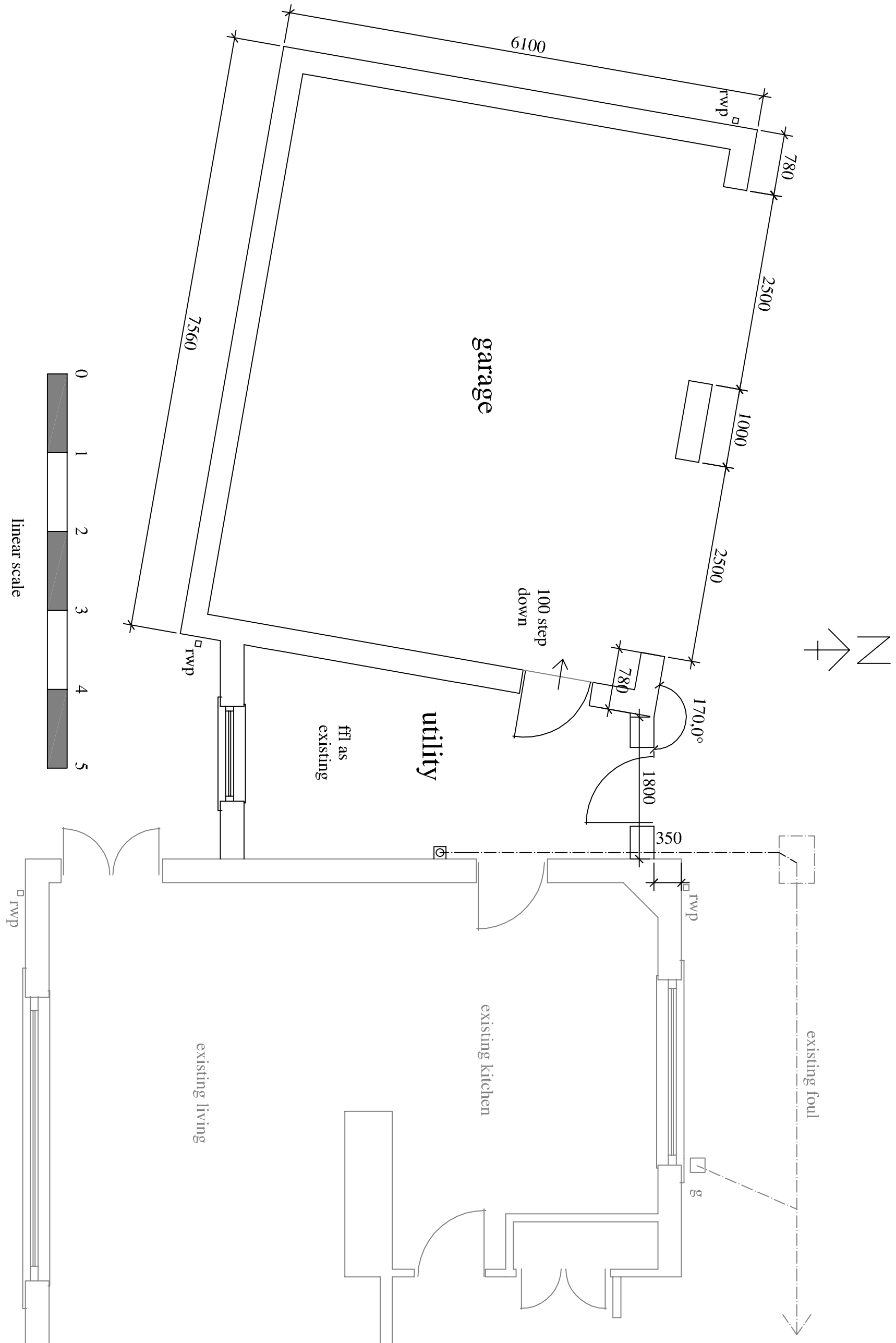


proposed north elevation (front) 1 : 100

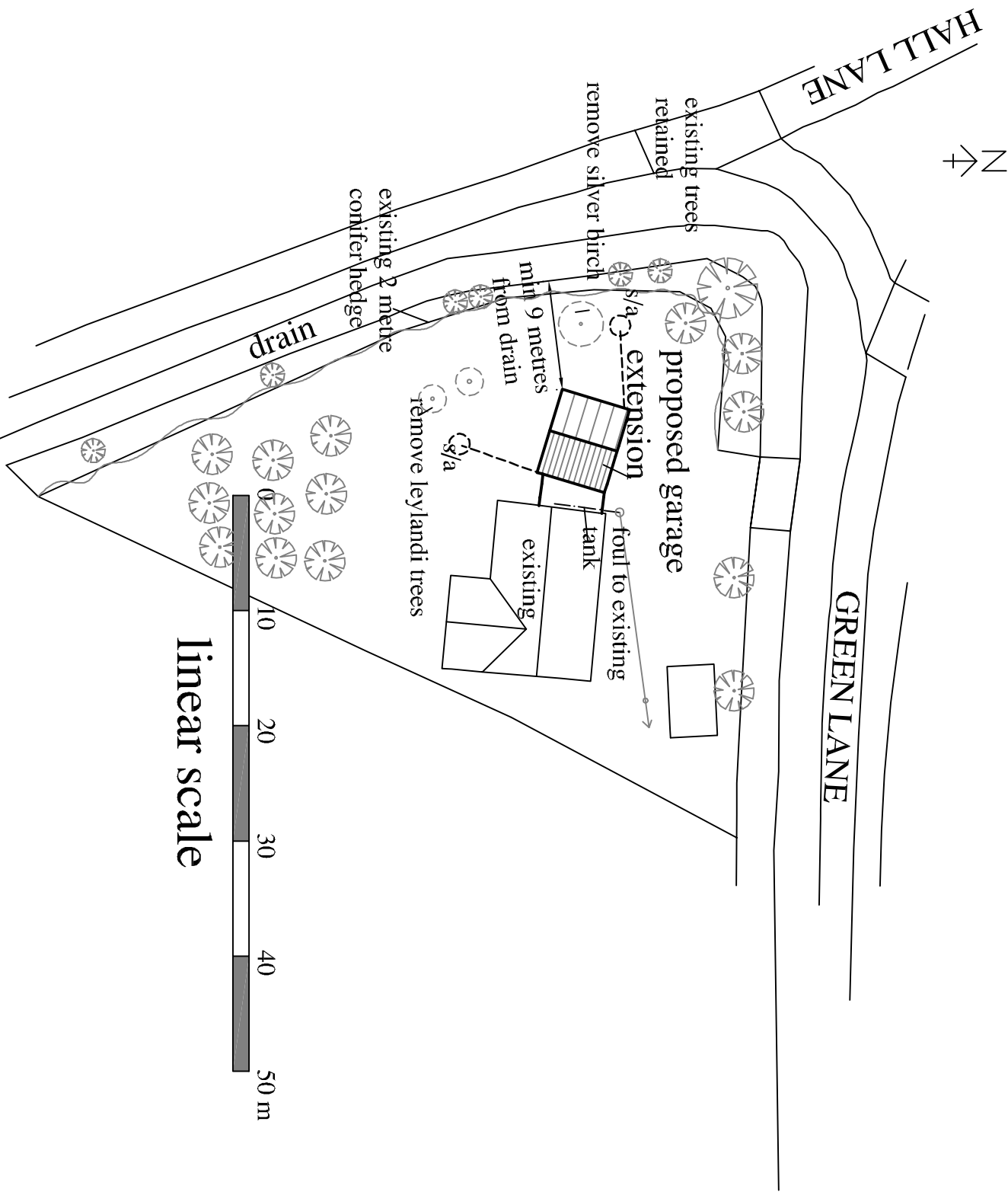


proposed south elevation

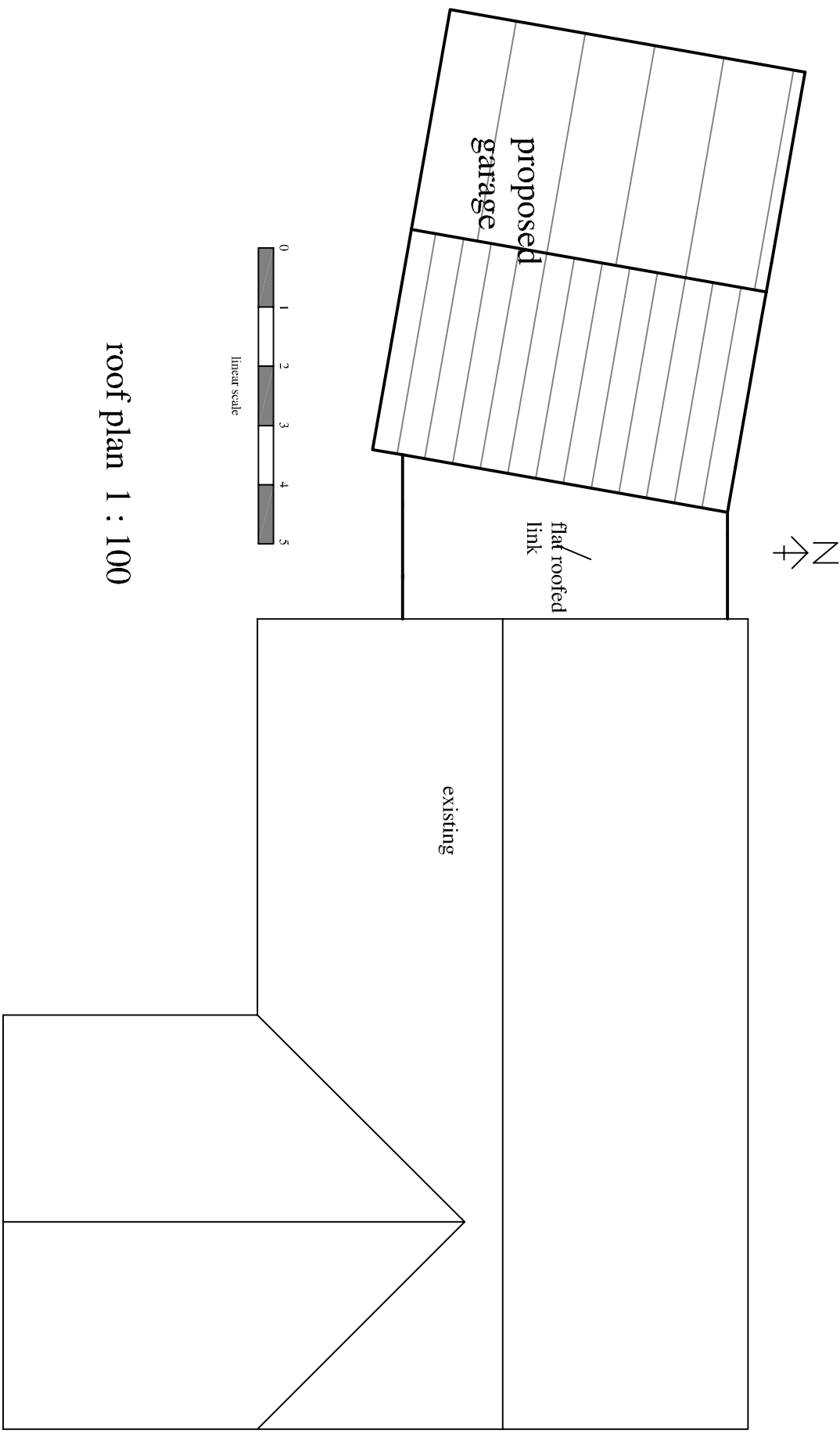
Ground floor levels of new extensions will be no lower than existing levels and flood proofing has been adopted where appropriate. Flood resilience measures to be adopted by constructing new extension with concrete ground floors and masonry external walls with non-absorbent insulation up to ground floor level. Where possible follow guidance of "improving the flood performance of new dwellings" C1/G 2007 including fixing plasterboard horizontally on ground floor walls & electrical/service points to be minimum of 500 above ground floor.



proposed plan 1 : 50




block plan 1 : 500



roof plan 1 : 100

PAPER SIZE A1

REV A : Internal division wall in utility omitted. FRA notes added. block plan up-dated 19/4/22	
D. W. Bradley chartered surveyor	
Hawthorn Lodge, Church Lane, Algonkirk, Boston, Lincs PE20 2HH Tel : (01205) 460944 Fax : (01205) 460911 Mobile : 07946 569256 Email : d.w.bradley@btinternet.com	
client : MR & MRS P TUNNARD	
project : REPLACEMENT GARAGE & LINK EXTENSION AT NETHERGATE, GREEN LANE ALGARKIRK, BOSTON PE20 2AA	
title : PROPOSED WORKS/BLOCK PLAN	
date : APRIL 22	scales : AS SHOWN
	dra.no. 2223/2A