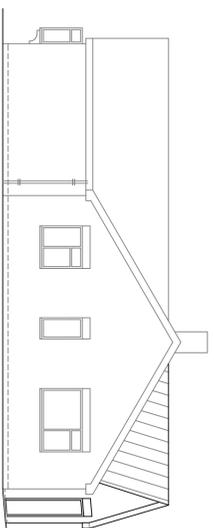
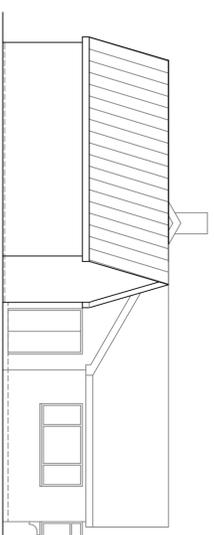


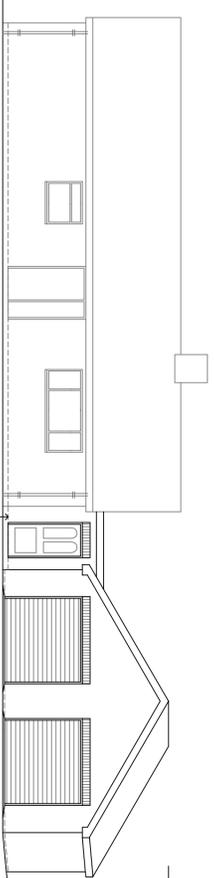
NOTE : Site measurements to be taken prior to ordering of any materials. Also site measurements to be taken prior to ordering of any items fabricated off site



proposed east elevation

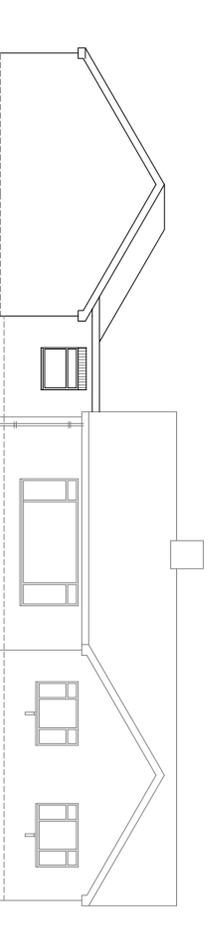


proposed west elevation



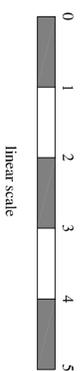
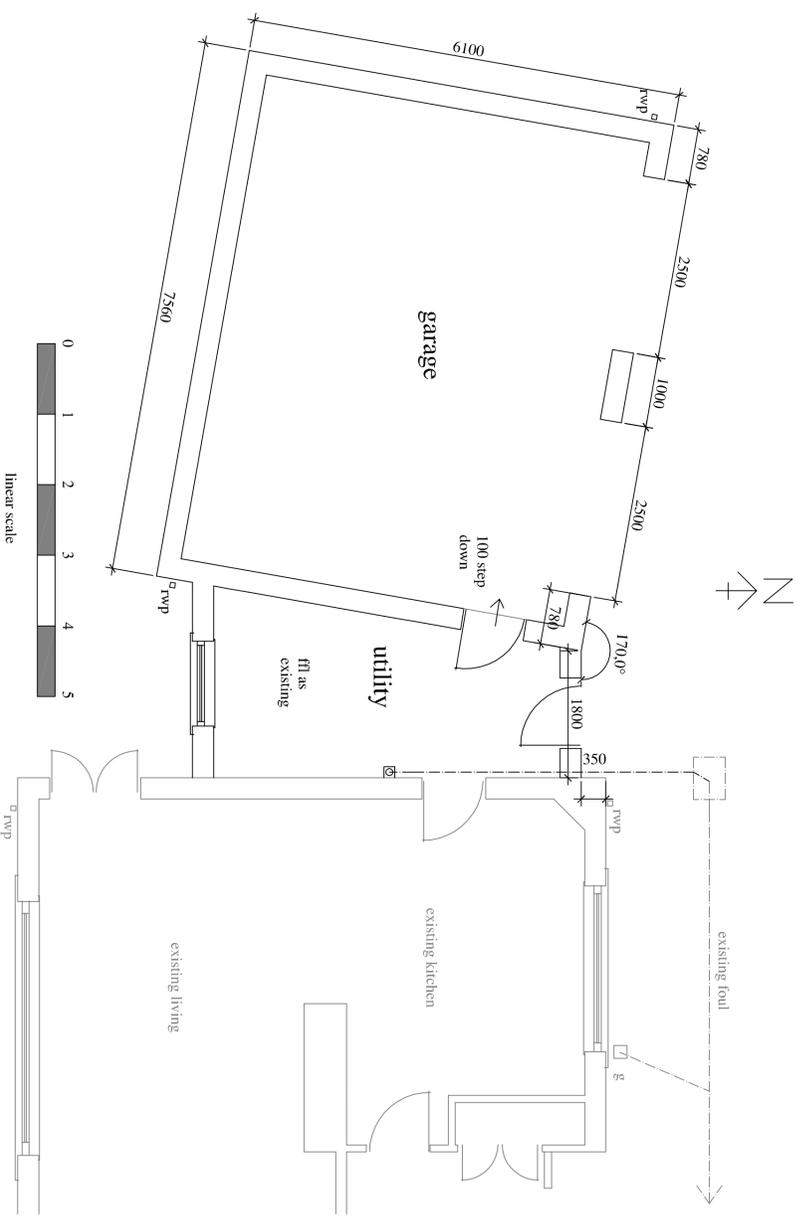
proposed north elevation (front) 1 : 100

brown concrete interlocking roof tiles
red facings
white upvc windows and external doors
galvanised steel roller shutter garage doors

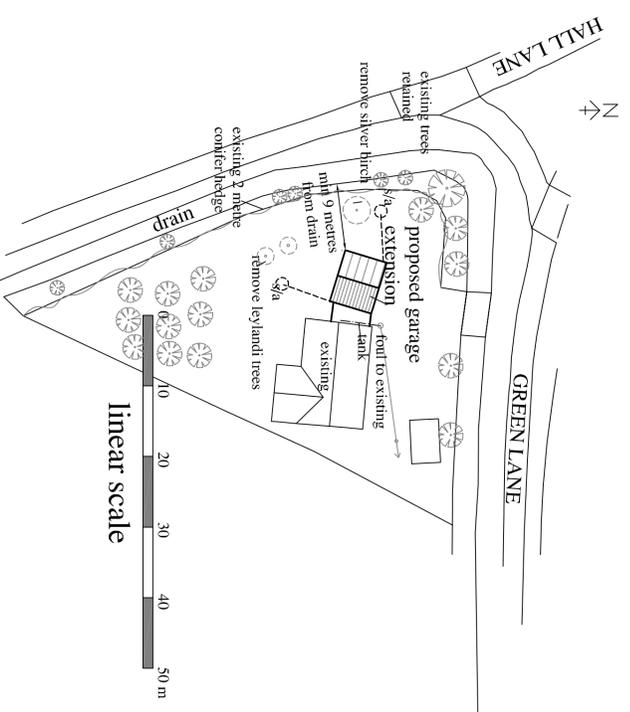


proposed south elevation

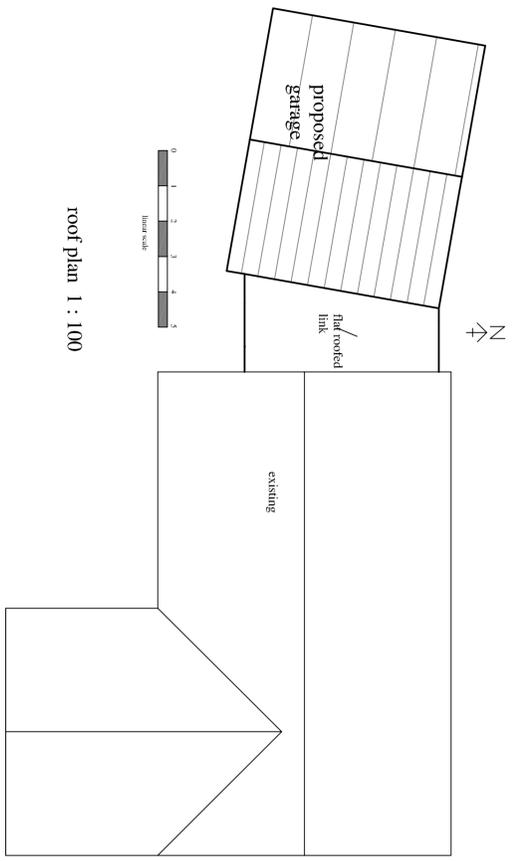
Ground floor levels of new extensions will be no lower than existing levels and flood proofing has been adopted where appropriate. Flood resilience measures to be adopted by constructing new extension with concrete ground floors and masonry external walls with non-absorbent insulation up to ground floor level. Where possible follow guidance of "improving the flood performance of new dwellings" C1/G 2007 including fixing plasterboard horizontally on ground floor walls & electrical/service points to be minimum of 500 above ground floor.



proposed plan 1 : 50



block plan 1 : 500



roof plan 1 : 100

PAPER SIZE A1

REV A : Internal division wall in utility omitted. FRA notes added. block plan up-dated. 19/4/22

D. W. Bradley
chartered surveyor

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project : REPLACEMENT GARAGE & LINK EXTENSION AT NETHERGATE, GREEN LANE

ALGARBIK, BOSTON PE20 2AA

title : PROPOSED WORKS/SHED PLAN

date : APRIL 22 scales : AS SHOWN



dra:ms 2223/2A