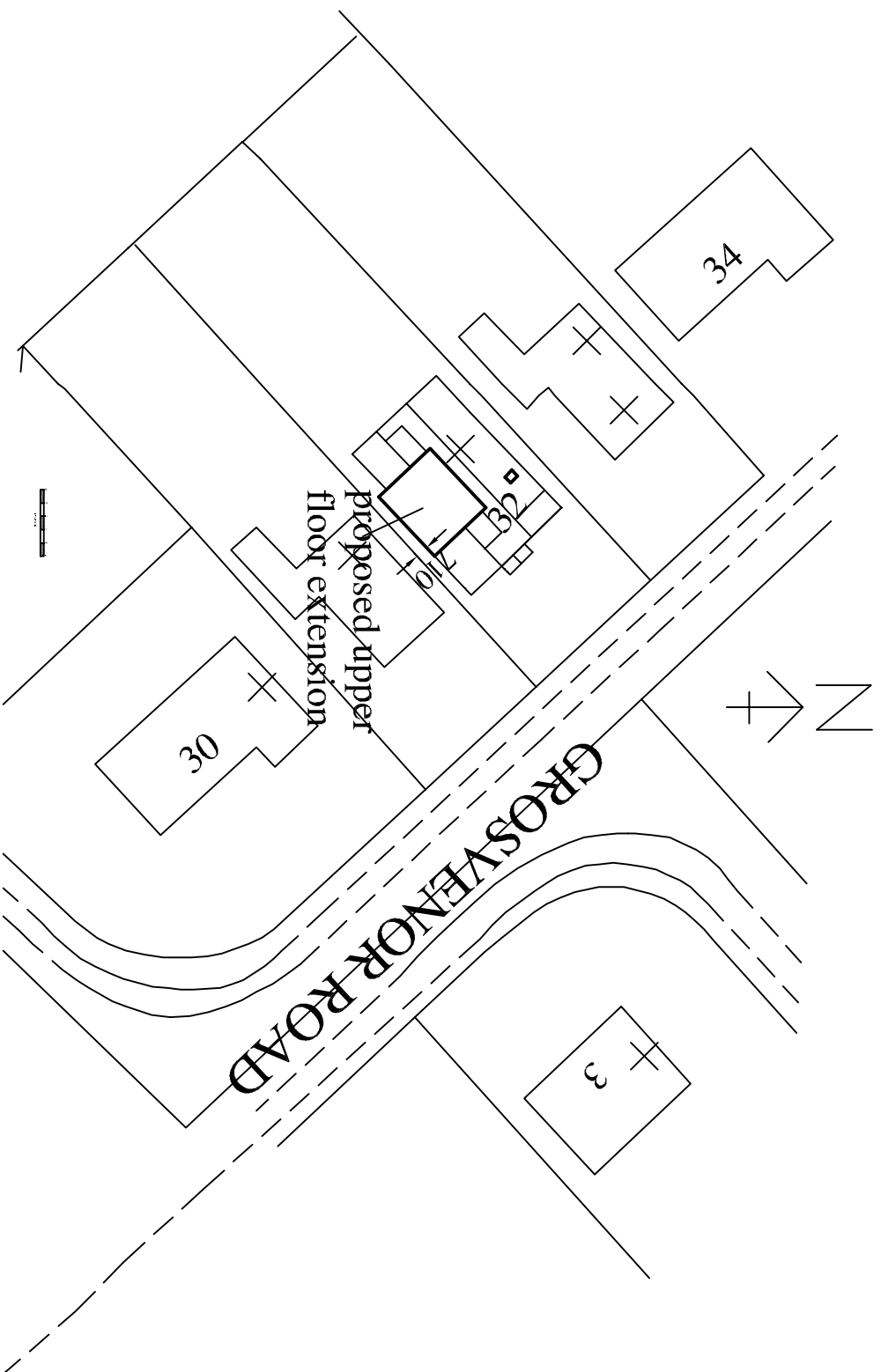
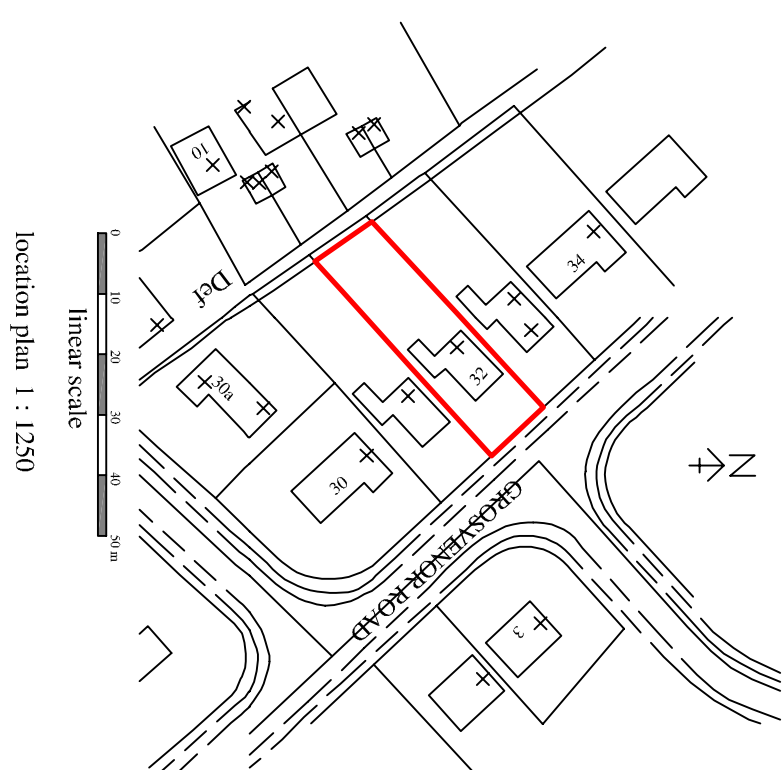


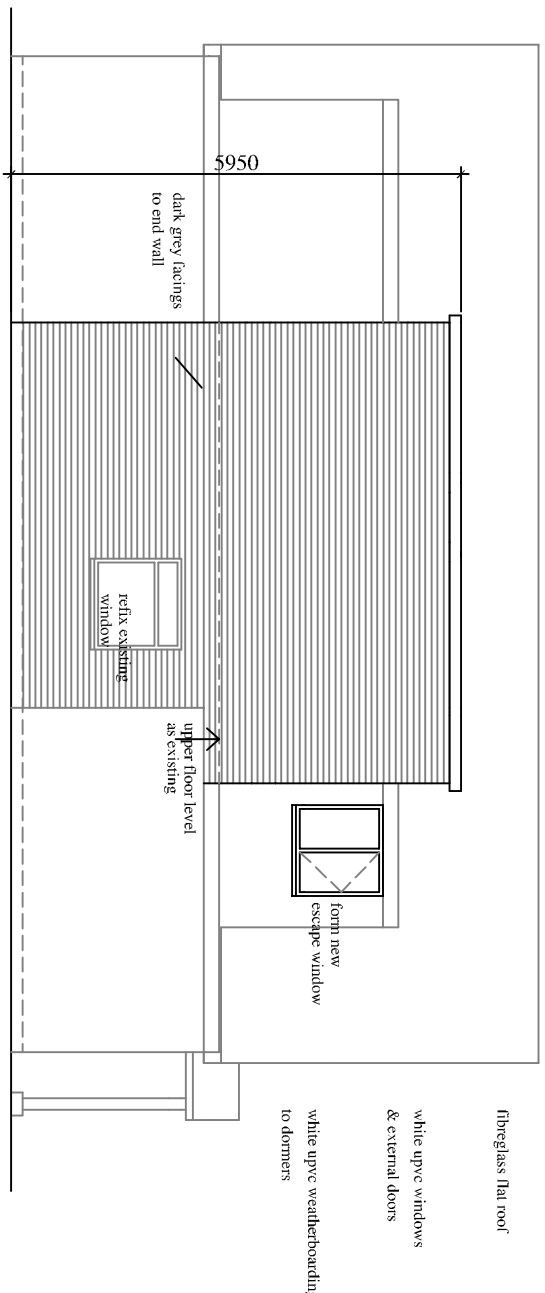
NOTE : Site measurements to be taken prior to ordering of any materials. Also site measurements to be taken prior to ordering of any items fabricated off site



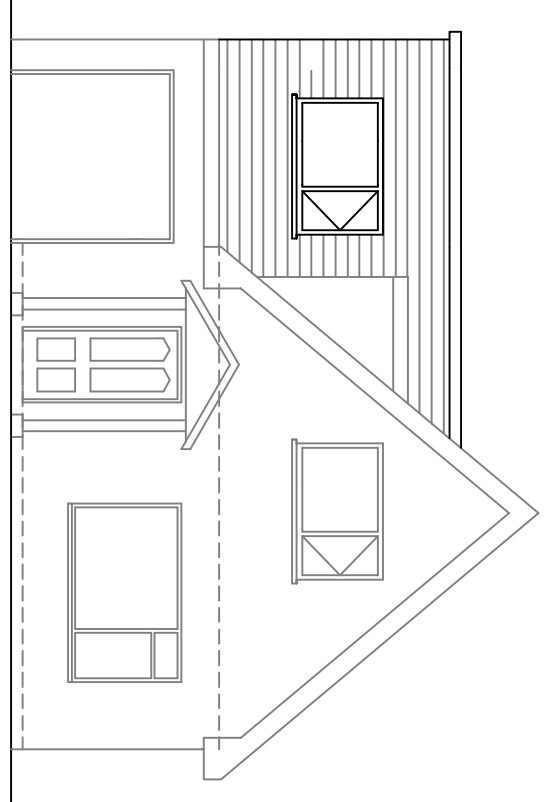
block plan 1 : 500



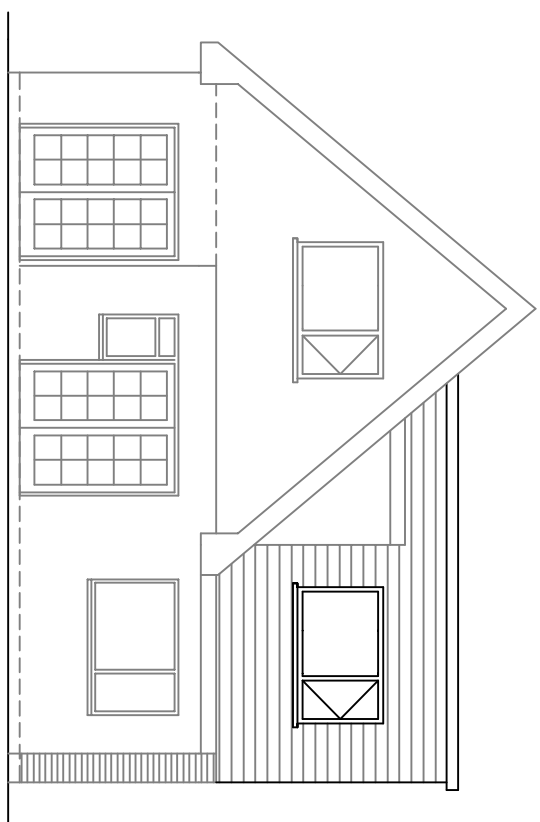
location plan 1 : 1250



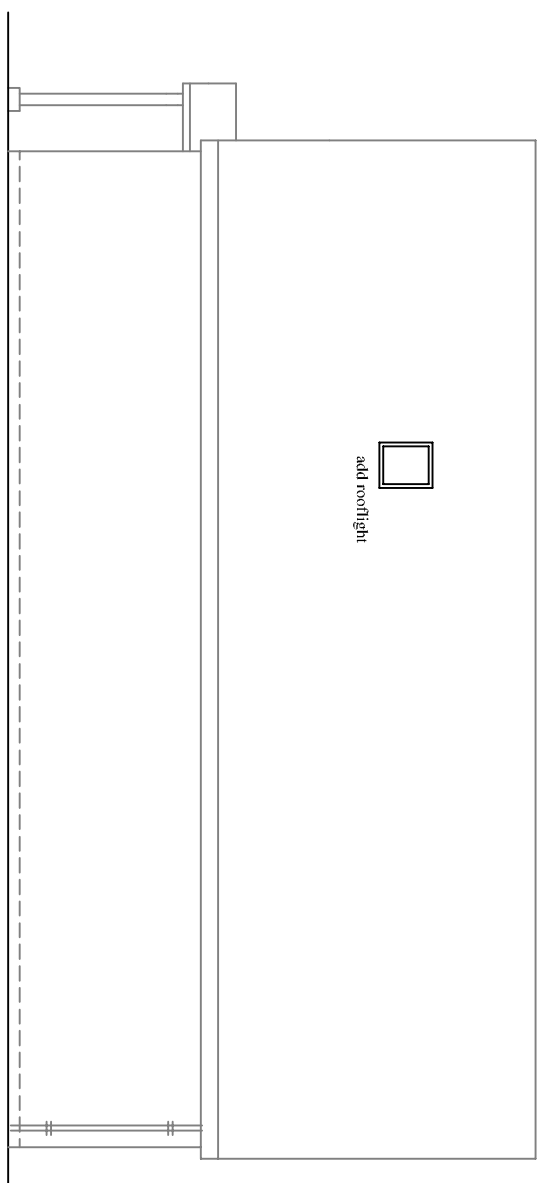
proposed south east elevation



proposed north east elevation 1 : 100

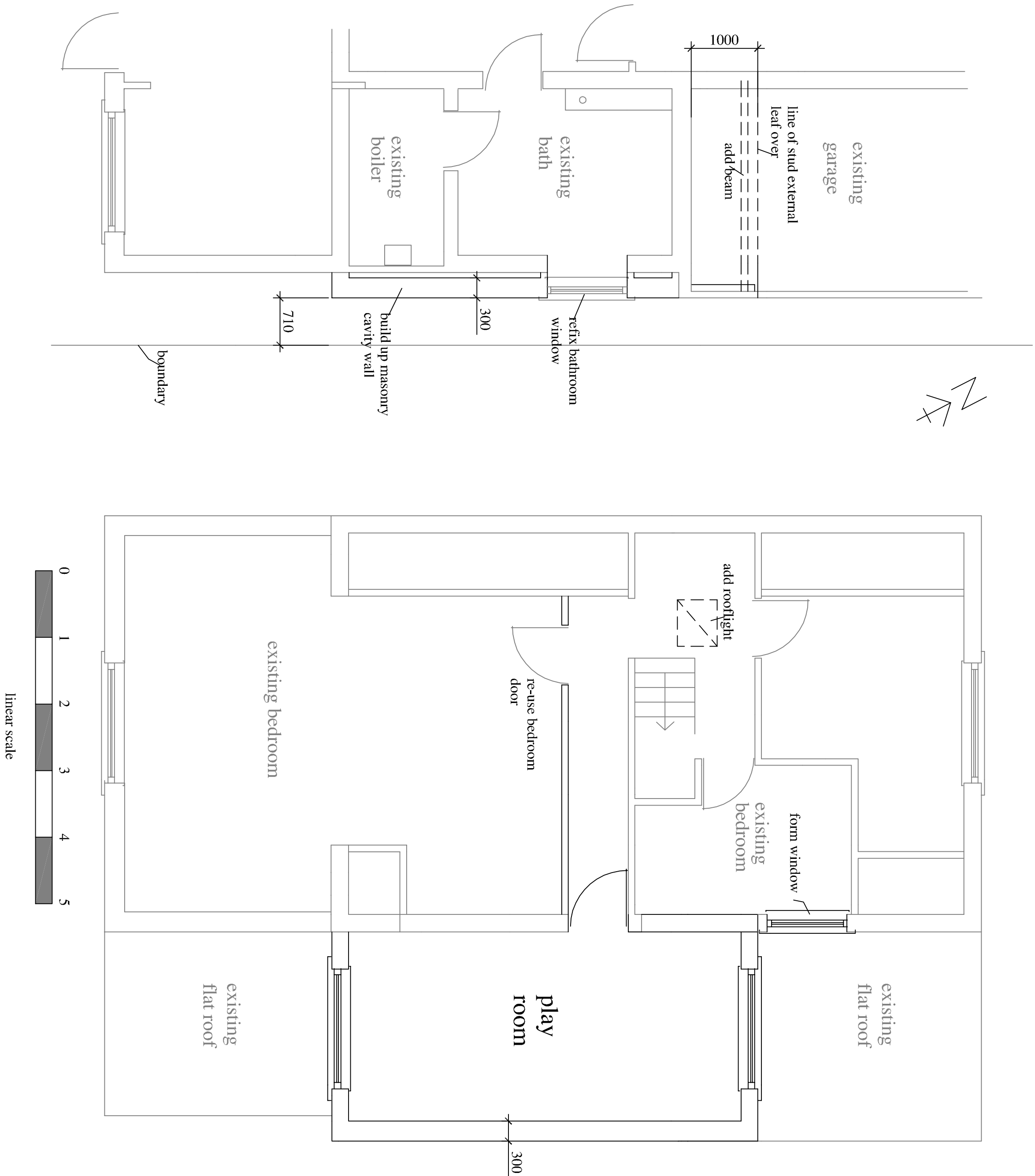


proposed south west elevation
(rear)

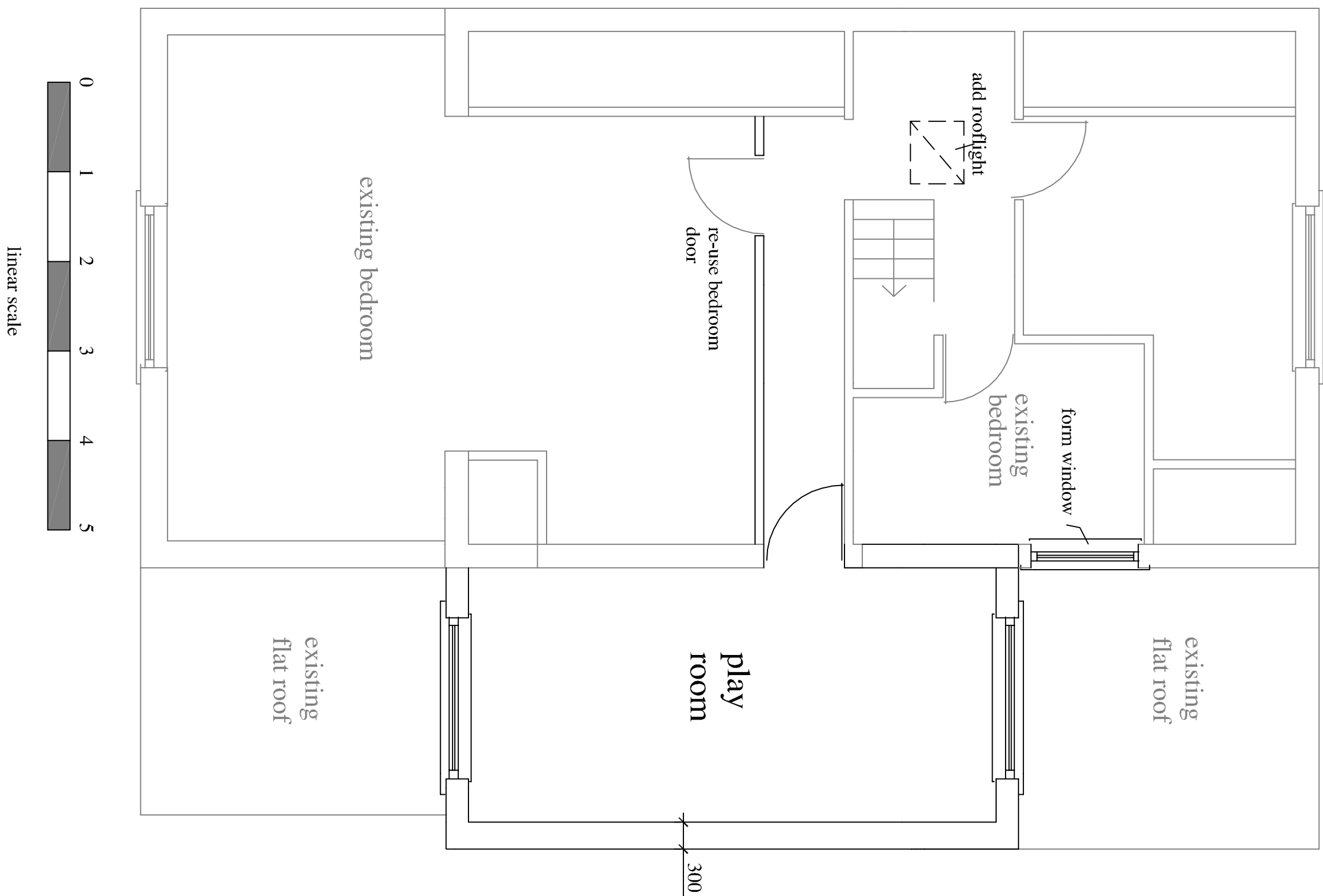


proposed north west elevation

Ground floor levels of new extensions will be no lower than existing levels and flood proofing has been adopted where appropriate. Flood resilience measures to be adopted by constructing new extensions with concrete ground floors and masonry external walls with non-absorbent insulation on the way up to ground floor level. Where possible follow guidance of "Improving the flood performance of new dwellings" CLG 2007 including fixing plasterboard horizontally on ground floor walls & electrical/service points to be minimum of 500 above ground floor.

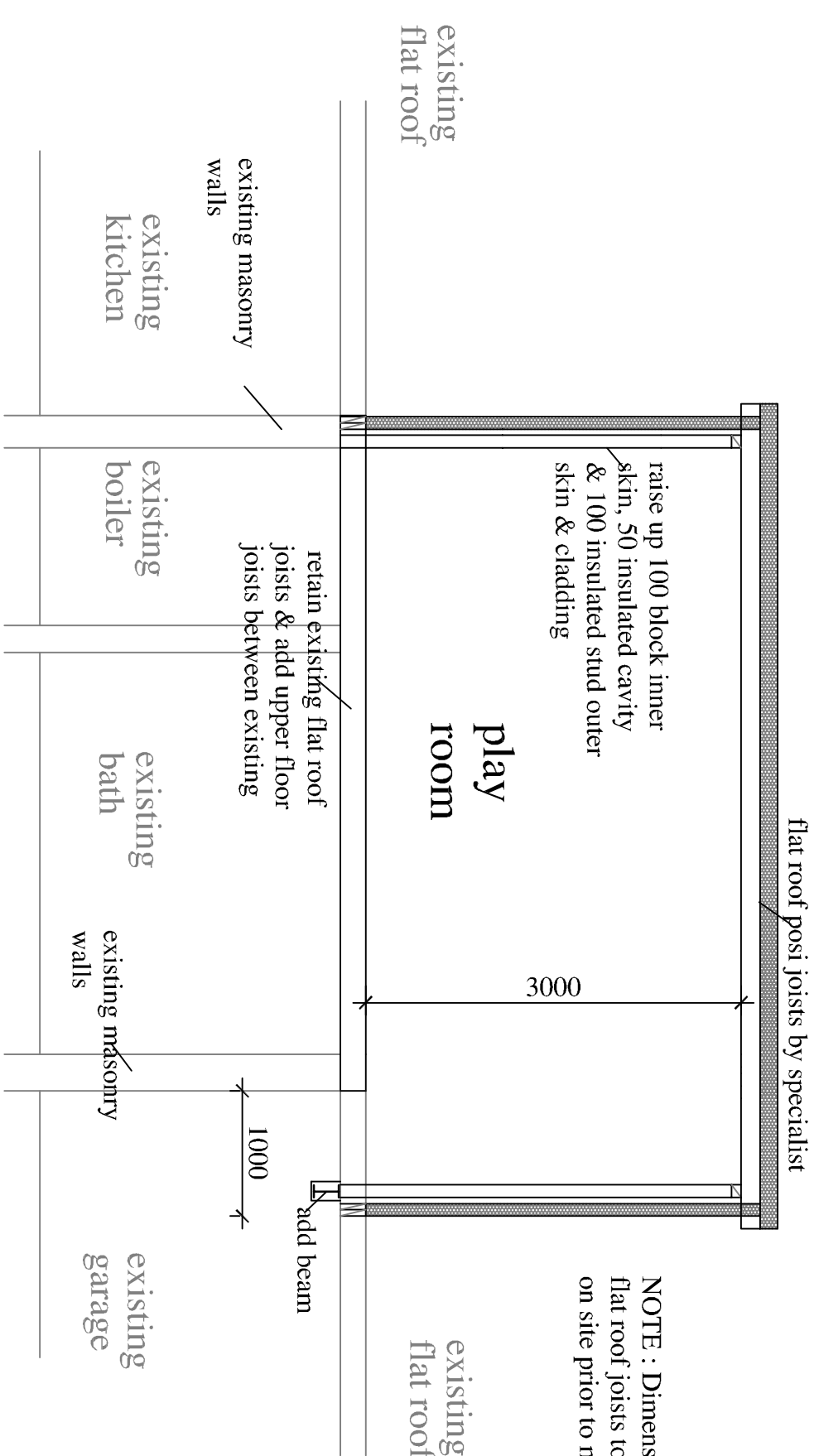


proposed ground floor

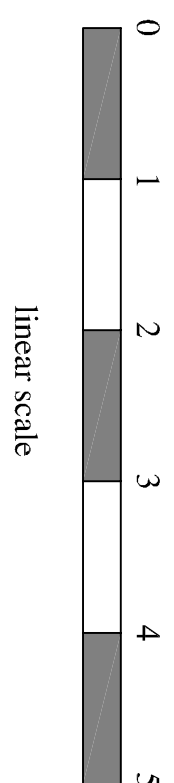


proposed upper floor


1:50



proposed section 1 : 50



PAPER SIZE A1

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