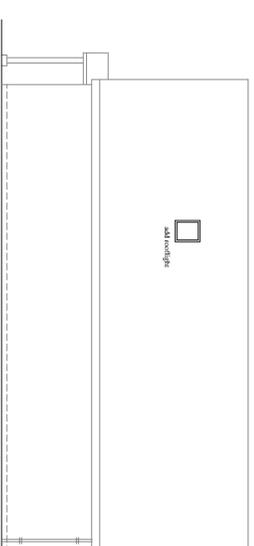
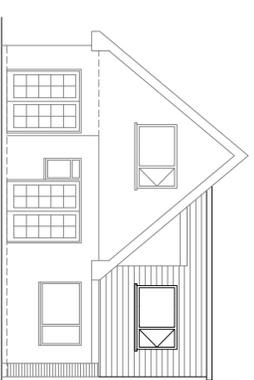
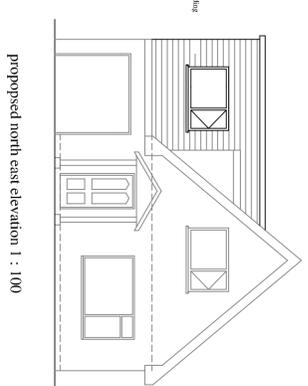
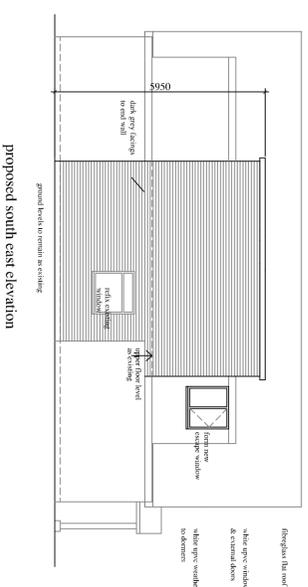
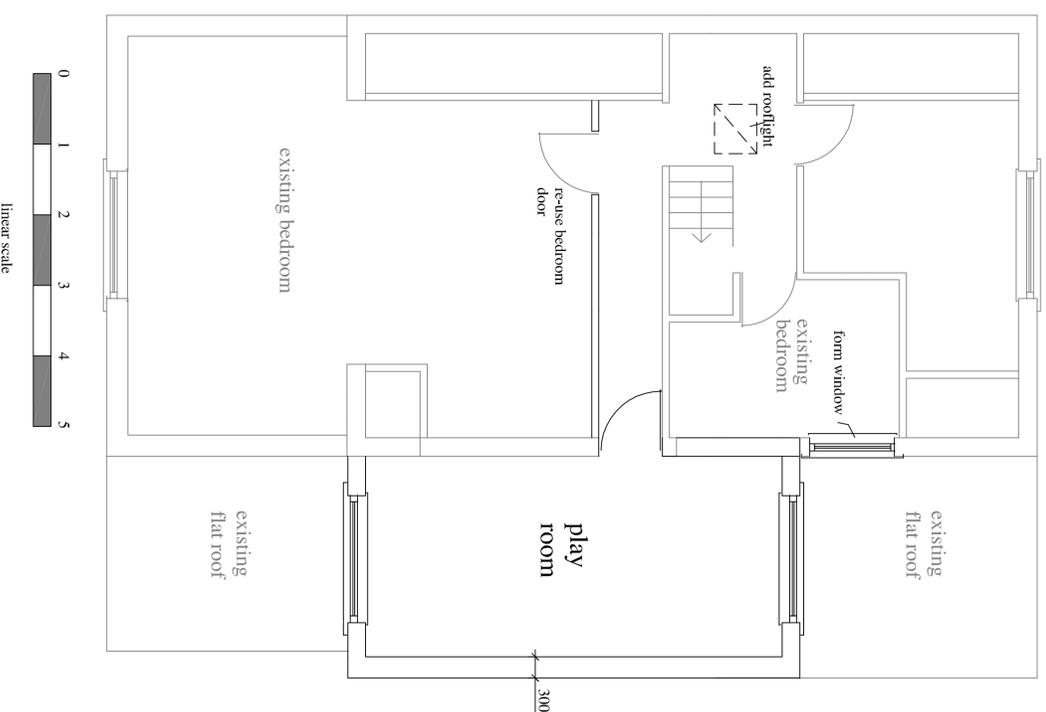
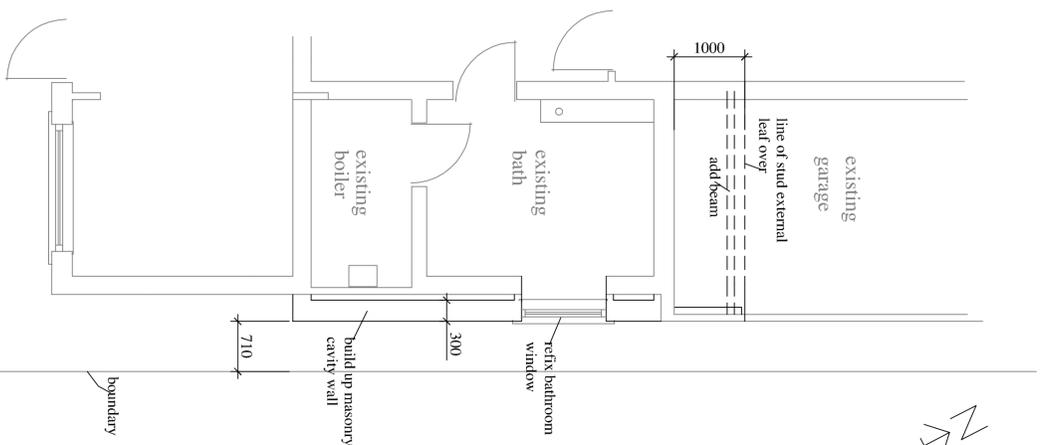
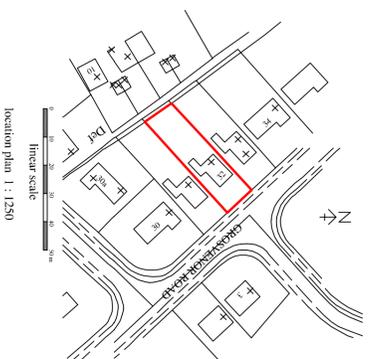
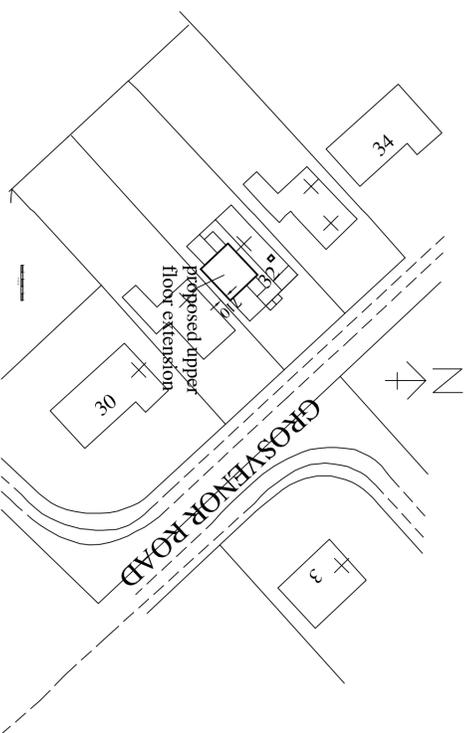
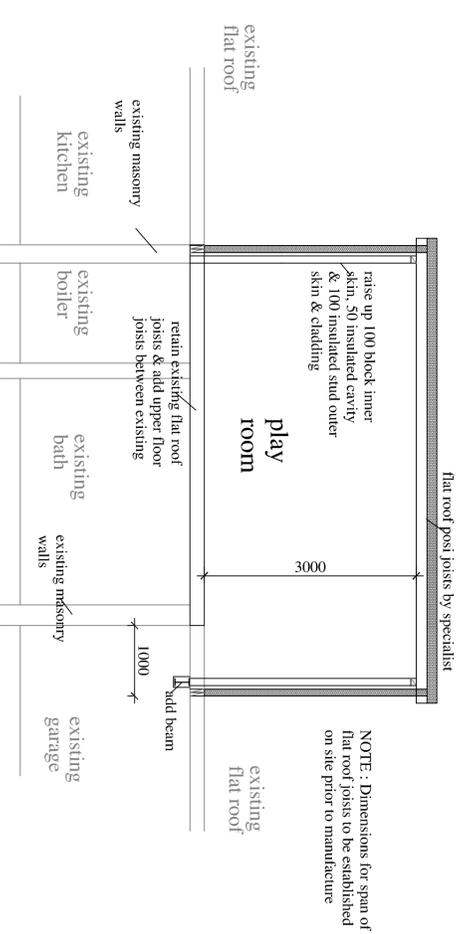


NOTE : Site measurements to be taken prior to ordering of any materials. Also site measurements to be taken prior to ordering of any items fabricated off site



Ground floor levels of new extensions will be no lower than existing levels and flood proofing has been adopted where appropriate. Flood resilience measures to be adopted by constructing new extension with concrete ground floors and masonry external walls with non-absorbent insulation up to ground floor level. Where possible follow guidance of "Improving the flood performance of new dwellings" CLG 2007 including fixing plasterboard horizontally on ground floor walls & electrical/service points to be minimum of 500 above ground floor.



proposed section 1 : 50

proposed upper floor

proposed ground floor

1 : 50

PAPER SIZE A1

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REV C : Block plan added, notes on flood resilience added 9/11/21
 REV B : Upper floor extended over garage windows altered, rooflight added over existing landing 5/11/21
 REV A : Proposals amended with changed ceiling height & flat roof 4/11/21

client : MR M WOOD
 project : ALTERATIONS & UPPER FLOOR EXTENSION AT 32 GROSVENOR ROAD, FRAMPTON BOSTON
 title : PROPOSED WORKS
 date : NOV 21 scales : AS SHOWN
 RICS
 dno. 2148/1C