

BOSTON - UNIT 2 & 3, BOSTON RETAIL PARK,

Project No. 20/1247 Drawg. No. 111 Revision C

CONSTRUCTION

This drawing remains the COPYRIGHT of Chartwell Project Management and must not be used for any other purpose without permission.

Do not scale from this drawing. All dimensions to be checked by site measurement and discrepancies reported immediately.

This drawing must be read in conjunction with all Architects, Consultants, Subcontractors and Specialists drawings, together with Contract Administrators' drawings, specification and other contract documents.

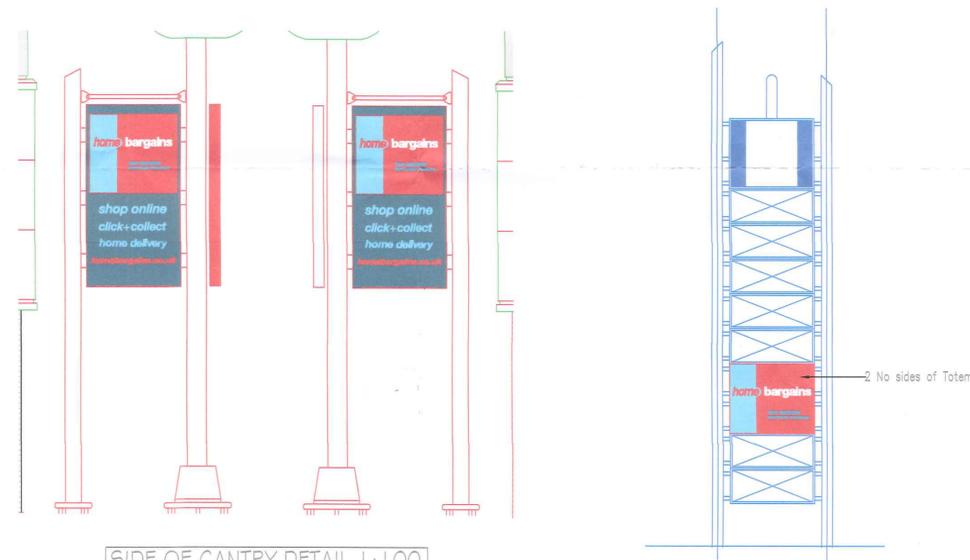
The Contractor is to provide a Method Statement prior to undertaking any demolition works, creation of openings and opening up works.



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



SIDE OF GANTRY DETAIL 1:100

TOTEM DETAIL 1:100



SIGNAGE DETAILS

SIGN

Springflex 190mm profile, anodised powder coated red (RAL 3020) aluminum box section complete with 2mm solid back, bolted to existing steelwork/ structure. Internally illuminated and faced with anti-fade ultra violet protected digitally printed self-tensioning PVC skin.

Illumination

Tridonic LED modules plus converters, complete with 5 years maintenance free guaranteed.

Illuminance

538cd/m2 (based on diffusion through the white 'bargains', reducing in the coloured areas).

PROPOSED FRONT ELEVATION 1:100



Signage to be internally illuminated. Illumination to be controlled by a time clock with photocell override. Precise details of signage, shopfront and shutter may be subject to minor change following site survey.

Powder coated aluminium shopfront entrance and exit, incorporating standard automatic sliding double entrance/exit door to provide level access compliant with DDA regulations and have fail safe open on activation of fire alarm or mains failure. Door opening created with in former window opening, including pockets screens.

Window graphics to be sand etched onto new shopfront.

Existing windows and doors to be sprayed Grey (RAL 7011)



EXISTING GROUND FLOOR PLAN 1:200

Existing Roller Shutter to be removed for installation of new powder coated steel door and steel make up panels Colour Grey RAL 7012

Existing door opening to be adjusted with brickwork to match existing for installation of new powder coated steel door. Colour Grey RAL 7012

Homebargains Airconditioning external units Existing doors behind to be removed and opening bricked up with Brickwork to match existing

New Homebargains Airconditioning external units installed in existing location

Rev/Ini./Ckd	Description	Date
C PW	Signage amended, Details for Signage to side of Gantry and Totem Signage indicated	09/07/21
B PW	Main Signage amended Issue title amended to Construction	29/06/21
A PJ	Elevation amended in accordance with updated layout.	16/04/21



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Client	T.J.MORRIS LTD HOMEBARGAINS
Project	UNIT 2 & 3, BOSTON RETAIL PARK, BOSTON
Title	PLANS AS PROPOSED ELEVATIONS
Date	JAN 2021
Scale	1:100
Sheet Size	A1
Drawn	P WILKINSON
Checked	

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