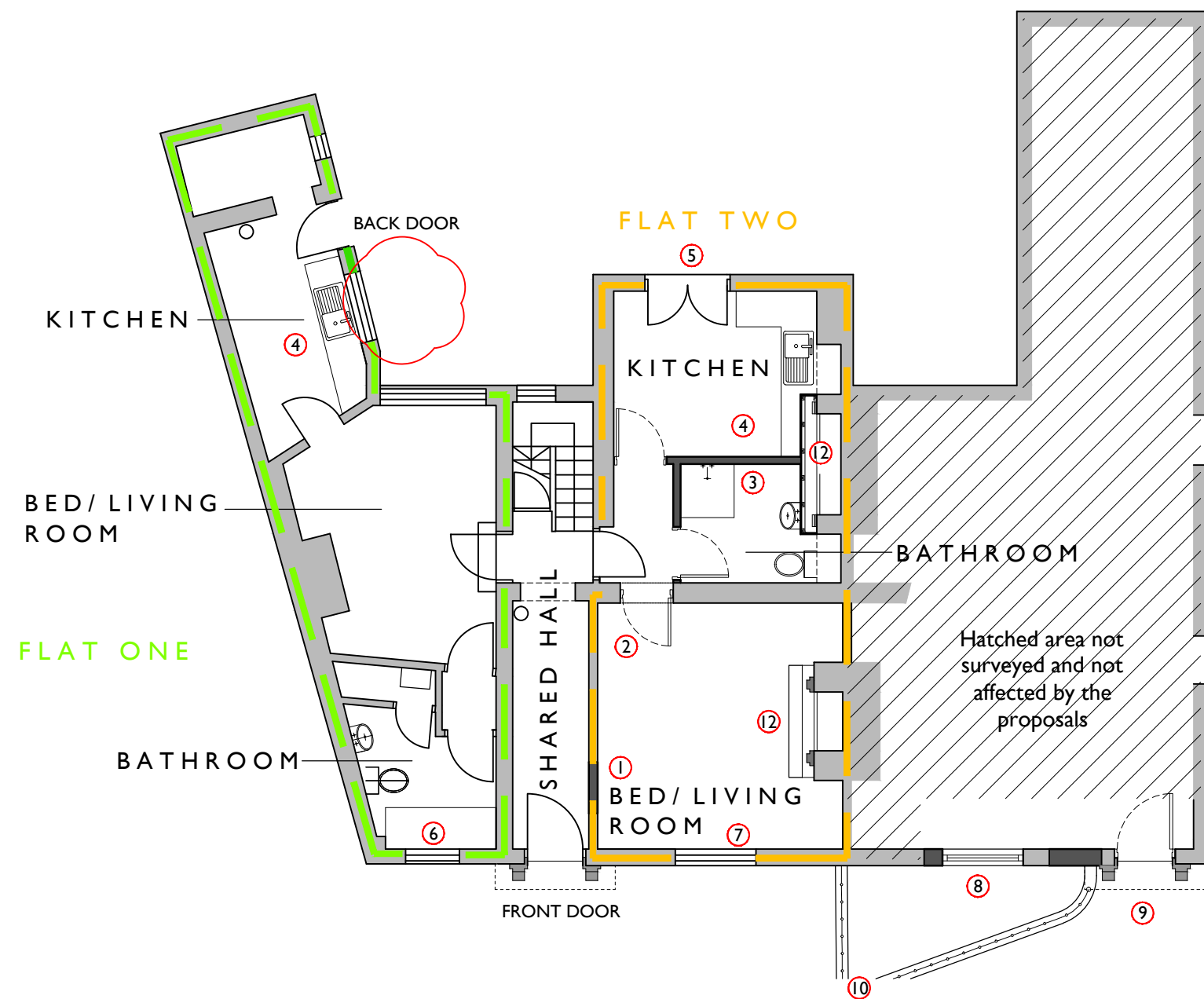
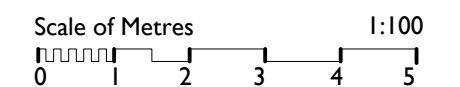
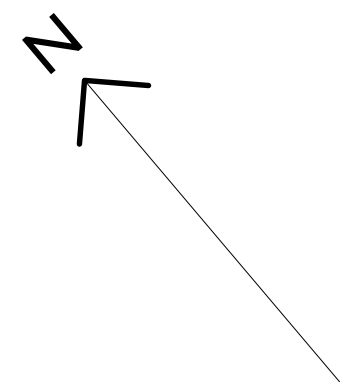
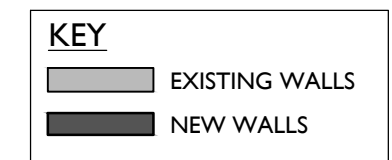
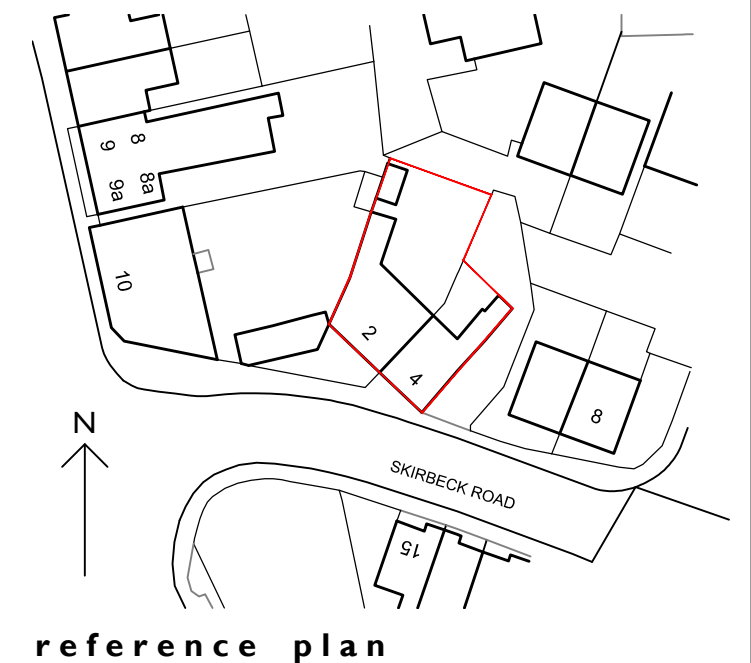
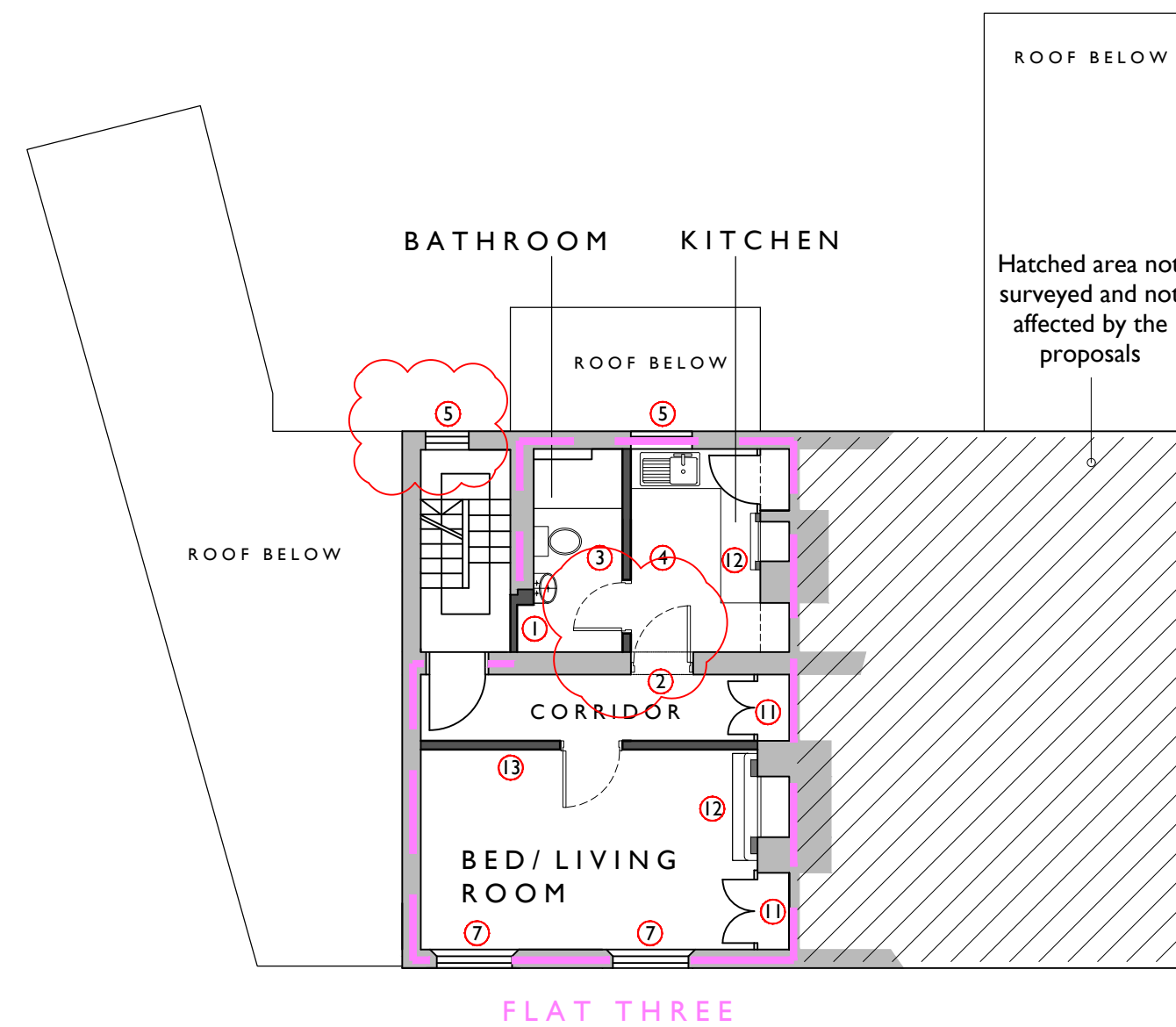


REV.	DATE	DESCRIPTION
A	26.2.21	Revisions to rear elevation window proposals. Revision of proposed door opening positions on the first floor; to reflect corrections in existing drawings and to reflect Planning / Heritage comments.

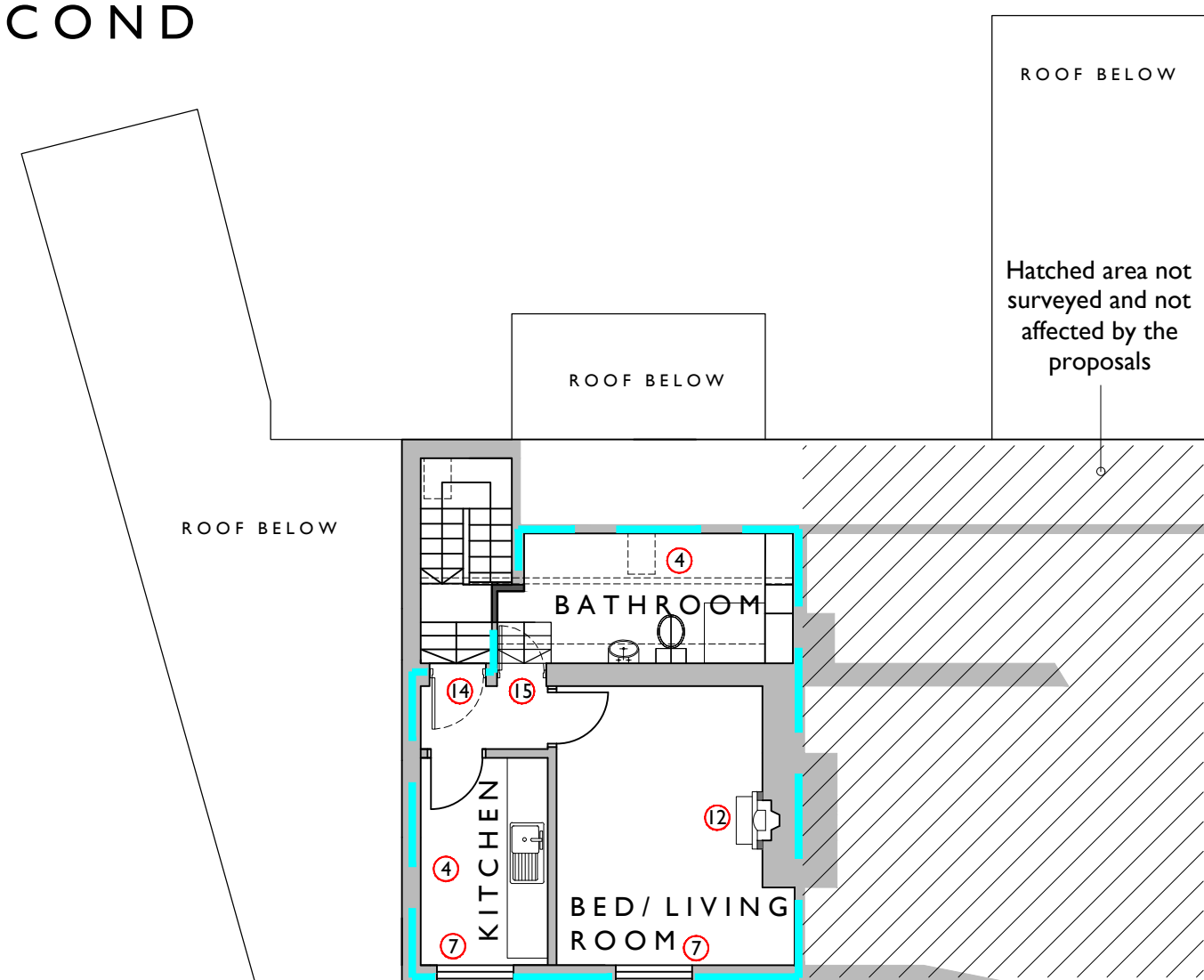
## GROUND



## FIRST



## SECOND



## KEY TO THE CHANGES PROPOSED :

1. Remove existing 20th C. door and block opening with timber and plasterboard partition. Leave the opening visible and retain original architrave on both sides of wall.
2. Form a new door opening through the existing wall and install a concrete lintol above. Install a new door with architrave around. New architraves and doors will not be to Georgian period detail so that original 18th C. features and new features in the building are clearly distinguishable.
3. Install new plasterboard and timber stud partition walls (including a partition to enclose the existing fireplace). Install new tile and paint finishes, bathroom fittings and associated waste and water services.
4. Install new kitchen or bathroom fittings and associated waste and water services. Add wall and floor finishes to suit.
5. Retain and refurbish the existing door or window (see elevation), or reinstate existing or install new to a suitable period detail in cases where unauthorised removal has recently occurred.
6. Replace the existing late-20th C. softwood casement window with u-PVC double-glazed window.
7. Install a u-PVC double-glazed unit on the interior of the window reveal, retaining the existing sash window in place.
8. Remove the existing window, modify the opening and install a new sash window. Refer to the elevation drawings for further explanation.
9. Remove the existing door. Infill the opening and form a new door opening. Install a new door with portico surround. Refer to the elevation drawings for further explanation.
10. Remove the existing boundary wall. Install a new metal railing (see elevations) on a new stone plinth to the layout shown. Refer to the elevation drawings for further explanation.
11. Retain the existing historic cupboards as existing.
12. Retain the existing historic fireplace, range, hearthstone and fire-surround, with boxing around where necessary to preserve and protect them.
13. Install a new plasterboard and timber stud partition wall with door.
14. Install a new door and door frame into the existing opening.
15. Form a new door opening through the wall with oak lintols above. Install a short flight of wood-constructed steps down to the bathroom level.

NOTE: REFER TO THE PROPOSAL, HERITAGE APPRAISAL & IMPACT ASSESSMENT DOCUMENT ACCOMPANYING THE APPLICATION FOR FURTHER DETAILS ON THE PROPOSED WORK SET OUT HERE

### Project

Proposed alteration and conversion to flats of No.2 & No.4 Skirbeck Road Boston, Lincolnshire PE21 6DA

### Client

Mr. A. Arundell - Smart Move (Boston) Limited

### Drawing Title

**PROPOSED FLOOR PLANS**

Scale : 1:100 on A2 paper

Date : December 2020

Status : planning & listed building applications

Drawing Number

**196-104**

Revision

**A**

Contact details:

Tel: 0800 020 9624

mail@gillickbrothers.co.uk

www.gillickbrothers.co.uk

SPARK HOUSE STUDIOS  
ROPEWALK . LINCOLN . LN6 7DQ

